

# Planning Commission

Official Agenda



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## AGENDA

### PLANNING COMMISSION

#### A G E N D A

Regular Meeting

October 20, 2016

4:00 PM

10th Floor Council Chambers, City Hall

1. Call to Order
2. Welcome and Opening Remarks from the Chair
3. Roll Call
4. Approval of Minutes – September 15, 2016
5. Call for Public Notice Affidavit from Applicants
6. Acceptance of Agenda
7. Conflict of Interest Statement
8. New Business

A. SD 16-544. Application By Reid Hipp For A SUBDIVISION From 9 Lots Into 8 Lots On Approximately 2.22 Acres Located At 22 W MOUNTAINVIEW AV And TOWNES ST EXT In The R-6, Single-Family Residential District (TM# 017800-05-03700, -04100, -04200, -04300, -04400, -04600, -04700, -04800, -04900)

Documents:

[A. SD 16-544 8 LOT SUBDIVISION AT 22 W MOUNTAINVIEW AV AND TOWNES ST EXT.PDF](#)

B. SD 16-636. Application By Renaissance Custom Homes For A SUBDIVISION With 6 Lots On 1.328 Acres Located At 24 CELAND ST And MACO TER In The R-6, Single-Family Residential District (TM# 020000-03-01000, 020000-03-01100, 020000-03-02700, 020000-03-02800)

Documents:

[B. SD 16-636 6 LOT SUBDIVISION AT 24 CELAND ST AND MACO TER.PDF](#)

C. SD 16-638. Application By Mark Thoennes Builders LLC For A SUBDIVISION With 11 Lots On 0.65 Acre Located At ARLINGTON AV And S LEACH ST In The RDV, Redevelopment District (TM# 008400-01-03100)

Documents:

[C. SD 16-638 11 LOT SUBDIVISION AT ARLINGTON AV AND S LEACH ST.PDF](#)

D. MD 16-637. Application By Mark Thoennes Builders LLC For A MULTI-FAMILY DEVELOPMENT With 10 Dwelling Units On 0.65 Acre Located At ARLINGTON AV And S LEACH ST In The RDV, Redevelopment District (TM# 008400-01-03100)

Documents:

[D. MD 16-637 MULTI-FAMILY DEVELOPMENT AT ARLINGTON AV AND S LEACH ST.PDF](#)

E. AX 06-2016. Application By Patrick L Frazier Jr To ANNEX And ZONE 10.714 Acres Plus Adjacent Street And Railroad Right-Of-Way Located On ANDERSON RD From R-7.5 And C-2 (County) To OD, Office & Institutional District (City) And To Amend The Green Avenue Neighborhood Revitalization Overlay Boundary (TM# 010700-12-01600)

Documents:

[E. AX 06-2016 ANNEX AND ZONE 10.714 ACRES PLUS ADJACENT STREET AND RAILROAD RIGHT-OF-WAY AT ANDERSON ROAD.PDF](#)

F. Z 18-2016. Application By Charles Pate Jr To REZONE Approximately 0.28 Acre Located At ALLENDALE LA And GREENACRE RD From R-6, Single-Family Residential District To OD, Office & Institutional District (TM# 019901-04-01400 And Part Of 019901-04-01301) The Applicant Has Requested To Postpone This Item To The November 17th Planning Commission Meeting.

G. Z 19-2016. Application By Lewis Plaza Partners LLC To MODIFY The Existing Lewis Plaza Planned Development (PD) Located At 1720 AUGUSTA ST. The Proposal Adds The Property At 21 Aberdeen Drive (TM# 021600-01-00100) To The Existing PD And Revises Uses And Square Footages To Include A 15,000 Square Foot Medical Office Building (TM# 021600-01-00110)

Documents:

[G. Z 19-2016 MODIFICATION TO LEWIS PLAZA PD AT 1720 AUGUSTA ST.PDF](#)

H. Z 20-2016. Application By Westone Development LLC To REZONE 1.095 Acres Located At W STONE AV And TOWNES ST From OD, Office & Institutional District To C-2, Local Commercial District (TM# 000900-04-01600, 000900-04-01700, 000900-04-01900, 000900-04-01500)

Documents:

[H. Z 20-2016 REZONE 1.095 ACRES AT W STONE AV AND TOWNES ST.PDF](#)

I. Z 22-2016. Application By The City Of Greenville SC To REZONE Approximately 2.424 Acres Located At 8 BENNETT ST From RM-2, Single- & Multi-Family Residential District To OD, Office & Institutional District (Lot 1) And R-6, Single Family Residential District (Lot 2) (TM# 003700-01-00700)

Documents:

[I. Z 22-2016 REZONE 2.424 ACRES AT 8 BENNETT ST.PDF](#)

J. Z 21-2016. Application By The City Of Greenville For A TEXT AMENDMENT To Section (S) 19-1.11, Definitions, And 19-4.2.2(G)(B), Communication Tower, Freestanding Or Roof-

Mounted, Of The Land Management Ordinance To Modify Provisions For Communication Towers

Documents:

[J. Z 21-2016 TEXT AMENDMENT TO SECTIONS 19-1.11 REGARDING COMMUNICATION TOWERS.PDF](#)

K. SNC 16-680. Application By The City Of Greenville For A STREET NAME CHANGE From An Unnamed SCDOT Street (SF-23-1119) To Echo Park Court

Documents:

[K. SNC 16-680 STREET NAME CHANGE.PDF](#)

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**Planning Staff Report to  
Greenville Planning Commission  
October 13, 2016**  
*for the October 20, 2016 Public Hearing*

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**Docket Number:** SD 16-544  
**Applicant:** Reid Hipp  
**Property Owner:** CAROLINA CRAFTED LLC  
**Property Location:** 22 W MOUNTAINVIEW AV  
**Tax Map Number:** 017800-05-03700  
**Property Owner:** HIGHLAND TERRACE LLC  
**Property Location:** TOWNES ST  
**Tax Map Number:** 017800-05-04100; 017800-05-04200; 017800-05-04300; 017800-05-04400; 017800-05-04600; 017800-05-04700; 017800-05-04800; 017800-05-04900

**Acreage:** 2.22 total

**Zoning:** R-6, Single-Family Residential District

**Proposal:** Preliminary Subdivision Plan for 7 residential lots and road right-of-way

**Staff Recommendation:** Approval, subject to comments from other departments listed below.

**Staff Analysis:** The applicant previously received approval of a preliminary plat for a 9-lot cluster subdivision on the subject property, plus two lots fronting Townes Street. A lot with an existing house fronting W. Mountainview Drive was to remain and be used for a drainage easement. Private alleys existing on each side of the approved subdivision.

The applicant has obtained title to the alleys adjacent to his parcels and is now proposing a seven-lot residential subdivision which will be access from a new street connecting to W. Mountainview Drive. The two lots fronting on Townes Street will remain as two lots and are not part of this current proposal. The design of the proposed subdivision will require demolition of the house fronting W. Mountainview Drive to allow for the new private cul-de-sac street. The seven lots will all front on the cul-de-sac. Lot sizes range from 6,161 square feet to 14,893 square feet.

Houses in the proposed subdivision are subject to compliance with the Single-Family Residential Infill Standards in Sec. 19-6.9 of the Land Management Ordinance.

The applicant proposes to install underground detention to be located under the proposed private street. Swales and berms along the boundaries of each of the proposed lots will funnel storm water to the cul-de-sac and to collection drains. Final details of drainage will be reviewed during the permitting process.

**City Engineer Comments**

**Recommend:** Approve w/ Comments

**Comments:**  
See Engineering Comments.

## **Civil Engineer Comments**

**Recommend:** Approve w/ Conditions

### **Comments:**

#### **Standard Comments**

- 1) The development shall meet the requirements of Article 19-2.3.13(A) Land Development – Subdivision of the Land Management Ordinance of the City of Greenville.
- 2) All proposed public and private improvements shall meet the requirements of Section 19-6.7 Site Development and Related Infrastructure of the City's Land Management Ordinance. The design and construction of the public and private infrastructure shall conform to all applicable federal and state regulations and the requirements of the City's design and specifications manual.
- 3) Right of Way Encroachment Permits - All improvements proposed within the City's public right of way shall be subject to the requirements of Articles I and II of Chapter 36 – Streets, Sidewalks and Other Public Places of the City of Greenville Code of Ordinances. As required, all improvements or construction activity performed within the right of way of West Mountainview Avenue will require an approved encroachment permit.
- 4) Final Plat – A Final Plat shall be recorded for the subdivision. The final plat will require a separate application and shall be submitted in conformance with the Final Plat requirements as outlined in Appendix F of the City's Administrative Manual. All required public and private infrastructure improvements shall be permitted, constructed and accepted by the respective agencies or bonded prior to approving the final plat for recording.
- 5) A Site Plan Permit shall be approved for the development detailing the demolition, grading and stormwater, utility improvements and site access.

#### **Site Specific Comments**

- 6) Private Alley Ownership – The subdivision is contingent upon the developer having ownership of several private alleys. Confirmation is needed as to the ownership of the alleys.
- 7) Sight Triangles – A minimum 25'x25' sight triangle shall be maintained at the intersection with West Mountainview Drive. Sight triangles are measured from the curb or edge of the pavement, and defined as the triangular area created by a line connecting points on the front and side at the defined distances. Within the sight triangle no fence, wall, sign or other structure, no slope or embankment, no parked vehicle, no hedge, foliage or other planting, and no other object shall be placed, erected, or maintained that would obstruct visibility between a height of three feet and nine feet measured vertically from the ground level at the pavement.
- 8) Access - The development is proposing the construction of a new road to serve as the primary access to the seven lots. The road shall be privately owned and maintained by an established HOA.
- 9) Street Design - The proposed road shall be designed and constructed to City's street design criteria and construction specifications for private streets. The road width, grade and cul-de-sac must meet the minimum requirements of the City Fire Marshal.
- 10) It appears the new intersection of Henigan Lane and West Mountainview Avenue will conflict with the existing driveway for the residence at 20 West Mountainview Avenue. The existing driveway will have to be relocated to accommodate the new road intersection. It is recommended that the driveway be relocated to the new road.
- 11) The development will require an extension of the City's sanitary sewer system and an extension of the water system to serve the new lots. A sanitary sewer easement will be required for the sewer line.
- 12) Utility/Road Repair – Utility cuts and other construction impacts to West Mountainview Avenue will be performed in accordance with Ordinance 36-109. Any utility cut exceeding 20 feet in length or width may require repaving the road up to 100 feet on either side of the repair area.
- 13) HOA Covenants, Conditions and Restrictions – A declaration of covenants, conditions and restrictions shall be recorded with the Greenville County Register of Deeds Office establishing ownership and

maintenance responsibilities of any proposed stormwater management features and/or other common elements of the subdivision. A reference to the declaration of covenants and restrictions shall be on the final plat.

### **Environmental Engineer Comments**

**Recommend:** Approve w/ Comments

#### **Comments:**

- 1) Wastewater – Wastewater service for the development will be subject to the following conditions:
  - a. A sewer main extension will be required for this development.
  - b. There are existing City sewer mains available to serve this development. The developer must confirm that the existing sewer system/treatment plant has available flow from the City and
  - c. ~~ReWa~~ wastewater permitting and acceptance process shall meet those requirements set forth in the City of Greenville Design and Specifications Manual Chapter 8.
  - d. Each building shall have a separate and direct connection to the City's sanitary sewer main.
  - e. Prior to using an existing lateral, the existing lateral must be tested to ensure that it conforms to City of Greenville performance requirements. Provide a video documenting the condition of the existing service connection prior to its reuse. A new lateral will be required if the existing lateral is in poor condition. The final Certificate of Occupancy will not be issued until the lateral is shown to be in good condition or a new lateral is installed.
  - f. Each building shall require a new service fee through ReWa.
- 2) Stormwater Management – The development is considered a larger common plan and must be performed in conformance with the City's stormwater ordinance (Article 19-7: Stormwater Management). Specifically, the development will be subject to the following conditions:
  - a. If the proposed development creates a new impervious surface greater than or equal to 0.25 acres, water quantity will be required for the 2, 10 & 25 year 24 hour storm event with no significant increase in the 100 year 24 hour storm event.
  - b. Any stormwater drainage system conveying offsite water shall be designed in compliance with the Stormwater Ordinance.
  - c. Water quality treatment is required when either:
    - The proposed development has a total impervious surface area ratio of 60% or greater and disturbs 50% or more of the parcel or larger common plan over a five year period;
    - ~~The~~ proposed development creates a new impervious surface greater than or equal to 0.25 acres.
- 3) Floodplain - The subject property is not located in a FEMA floodplain as determined utilizing 2014 Flood Insurance Rate Maps.

### **Traffic Engineer Comments**

**Recommend:** Deny, Revisions Required

#### **Comments:**

Street access to new homes cannot be located in such close proximity to the adjacent driveway.

### **Parks & Recreation Comments**

**Recommend:** Approve w/ Conditions

#### **Comments:**

1. Every effort should be made to preserve existing trees, in particular any Heritage and Historic trees, located outside of proposed building footprints. Plat does not indicate mass grading, so assume building pads will be carefully sited on lots and existing grades will not be drastically altered.

## **Fire Department Comments**

**Recommend:** Approve w/ Conditions

### **Comments:**

All work shall comply with the ICC 2015 code system. Cul-de-sac is required to be a minimum radius of 48 feet or 96 feet. All required fire access roads and fire hydrants are to be in place and usable prior to combustible materials or combustible construction being allowed on site. Fire access road must be all weather accessible.

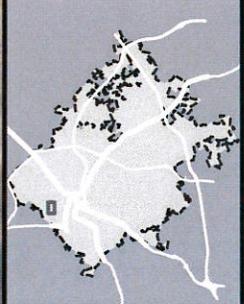
# 522 W Mountainview Av - Aerial



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City Limit Boundary

Parcels

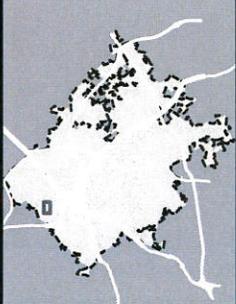


# 522 W Mountainview Av - Existing Zoning

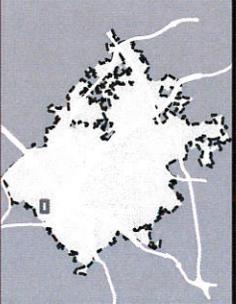


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	City Limit Boundary		C-1		C-2		C-3		C-4		C-IN		RM-3		I-1		POD
	Streets		RM-1		RM-1.5		RM-2		R-6		R-7.5		R-9		S-1		OS-C
	Parcels		RM-1.5		RM-2		R-6		R-7.5		R-9		OD		RDV		PD



# 522 W Mountainview Av - Future Land Use



- City Limit Boundary
- Streets
- Parcels

- General Residential
- Urban Residential
- Mixed Use Neighborhood
- Mixed Use Community
- Mixed Use Regional

- Transit Oriented Development
- Mixed Use City Center
- Parks, Open Space, and Schools
- High Intensity Non-Residential



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9/15 PC

## APPLICATION FOR LAND DEVELOPMENT PERMIT

Contact Planning & Development (864) 467-4476

### Office Use Only:

Application# SD-16-544 Fees Paid 300.00  
Date Received 8/8/16 Accepted By SN  
Date Complete \_\_\_\_\_ App Deny Conditions \_\_\_\_\_

### APPLICANT/OWNER INFORMATION

\*Indicates Required Field

	APPLICANT	PROPERTY OWNER
*Name:	Reid Hipp	Highland Terrace, LLC & Carolina Crafted, LLC
*Title:	Developer/LLC's Managing Member	Property Owner
*Address:	PO Box 391, Greenville, SC 29602	same
*Phone:	864-293-2359	same
*Email:	reid@carolinacrafted.com	same

### PROPERTY INFORMATION

\*STREET ADDRESS 22 W. Mountainview Ave, Greenville, SC 29609

\*TAX MAP #(S) SEE ATTACHED EXHIBIT A

\*ZONING DESIGNATION R-6

\*# ORIGINAL LOTS 9 \*TOTAL ACREAGE (+/-) 2.22

\*# PROPOSED LOTS 8 \*TOTAL ACREAGE (+/-) 2.22

### INSTRUCTIONS

- Please refer to **section 19-2.3.13, Land Development**, for additional information.
- All applications and fees (made payable to the City of Greenville) for land development permits must be received by the planning and development office no later than 5:00 pm of the date reflected on the attached schedule.
  - Minor Subdivision – (2 lots) \$300.00 - Summary Plat review, *administrative review*
  - Major subdivision – (3-10 lots) \$300.00 - Preliminary Plat review, *public hearing required*
  - Major subdivision – (11+ lots) \$550.00 - Preliminary Plat review, *public hearing required*
  - Multifamily development \$550.00 - *public hearing required*
- The staff will review the application for “sufficiency” pursuant to Section 19-2.2.6, Determination of Sufficiency. The staff will contact the applicant to correct any deficiencies which must be corrected prior to placing a land development application on the planning commission agenda. You are encouraged to schedule an application conference with a planner who will review your application for “sufficiency” at the time it is submitted. Call (864) 467-4476 to schedule an appointment.
- Land development applications require a public hearing before the planning commission and must be posted at least 15 days (but not more than 18 days) prior to the scheduled hearing date.
- Subdivision Plat format and content requirements are reflected in the Administrative Manual at Appendix ‘F’.
- Multifamily Development plan format and content requirements are reflected in the Administrative Manual at Appendix ‘H’. The information shall include at a minimum:
  - Completed application for land development permit;
  - Context map, showing relationship of proposed development to the surrounding neighborhood;

- c. Photographs of surrounding area;
- d. Site plan, showing building(s) footprint, parking lot layout, pedestrian and vehicular access, internal walkways, amenities (i.e. Pool, playground, picnic area, etc.), and service areas (i.e. Dumpster pad/trash collection area, HVAC units, car wash area, etc.);
- e. Grading plan, showing existing and proposed topographic contours, storm drainage collection facilities, existing and proposed retaining walls (with top-of-wall and bottom-of-wall elevations for at least the ends of the walls and the high point of the walls);
- f. Building elevations, of all sides of the building(s), with exterior materials and colors indicated;
- g. Plan showing elevation of proposed buildings in relation to adjoining structures;
- h. Building floor plans;
- i. Landscape plan, showing existing vegetation that will remain and the new plants to be added; and
- j. Lighting plan, showing location of light fixtures (on the site and on the building), cut sheets of the proposed light fixtures, and wattage.

**Please verify that all required information is reflected on the plan(s). Please submit two (2) paper copies and one (1) electronic version of the plan(s).**

7. Please read carefully: The applicant and property owner affirm that all information submitted with this application; including any/all supplemental information is true and correct to the best of their knowledge and they have provided full disclosure of the relevant facts.

In addition the applicant affirms that the applicant or someone acting on the applicant's behalf has made a reasonable effort to determine whether a deed or other document places one or more restrictions on the property that preclude or impede the intended use and has found no record of such a restriction.

If the planning office by separate inquiry determines that such a restriction exists, it shall notify the applicant. If the applicant does not withdraw or modify the application in a timely manner, or act to have the restriction terminated or waived, then the planning office will indicate in its report to the planning commission that granting the requested change would not likely result in the benefit the applicant seeks.

8. To that end, the applicant hereby affirms that the tract or parcel of land subject of the attached application is \_\_\_ or is not  restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the requested activity.

<b>*Signatures</b>	
Applicant	<i>Reed Kepp</i>
Date	6/5/16
Property Owner/Authorized Agent	<i>Reed Kepp</i>
Date	6/5/16

STOP: To be filled when application submitted to Planning & Development (excluding Minor Subdivisions)	
<input type="checkbox"/>	'Public Hearing' signs are acknowledged as received by the applicant
<input checked="" type="checkbox"/>	Received information for public meeting
<input type="checkbox"/>	Received information for materials board requirements

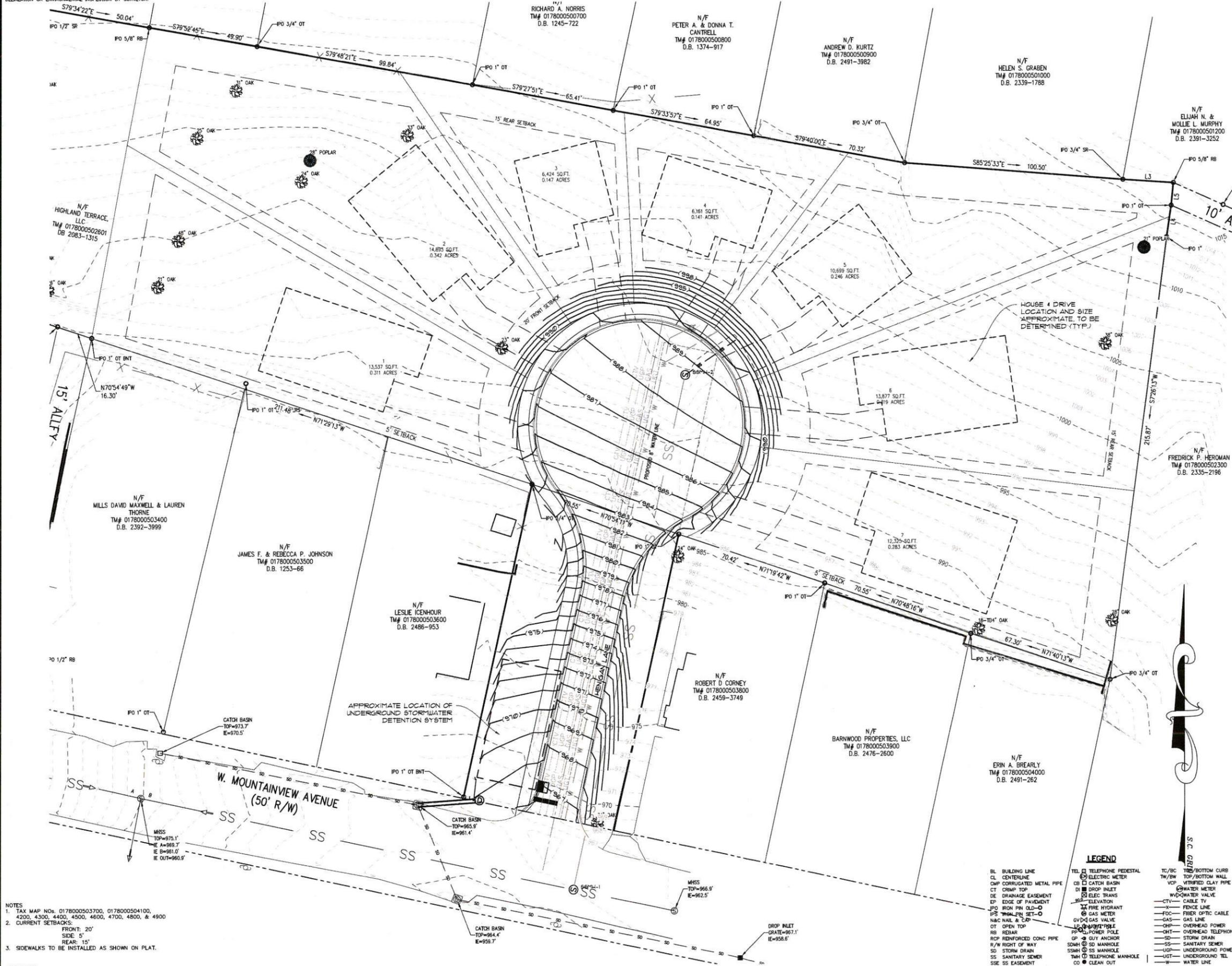
APPLICANT SIGNATURE \_\_\_\_\_ *Reed Kepp*

**EXHIBIT A  
FOR HENIGAN LANE  
PLANNING COMMISSION HEARING APPLICATION**

<b>Tax MAP #'s</b>	<b>Owner</b>	<b>Address</b>	<b>Desc/Lot#</b>
0178000503700	CAROLINA CRAFTED, LLC	22 W MOUNTAINVIEW AVE	4
0178000504100	HIGHLAND TERRACE LLC	TOWNES ST EXT	3
0178000504200	HIGHLAND TERRACE LLC	TOWNES ST EXT	4
0178000504300	HIGHLAND TERRACE LLC	TOWNES ST EXT	5
0178000504400	HIGHLAND TERRACE LLC	TOWNES ST EXT	6,PT.7
0178000504600	HIGHLAND TERRACE LLC	TOWNES ST EXT	8,PT.7
0178000504700	HIGHLAND TERRACE LLC	TOWNES ST EXT	9
0178000504800	HIGHLAND TERRACE LLC	TOWNES ST EXT	10
0178000504900	HIGHLAND TERRACE LLC	TOWNES ST EXT	11

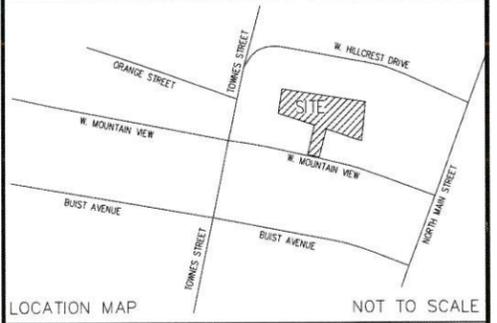
The above information is based on the Greenville County GIS at the time this application was submitted and is subject to change without notification.

NOTE: EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAT, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: RIGHTS-OF-WAY, EASEMENTS, OTHER THAN POSSIBLE EASEMENTS THAT WERE VISIBLE AT THE TIME OF MAKING THIS SURVEY; BUILDING SETBACK LINES; RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, ZONING OR OTHER LAND USE REGULATIONS AND ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE - ANY FLOOD PLAIN DATA SHOWN HEREON IS AN APPROXIMATE LOCATION GRAPHICALLY PLOTTED FROM THE REFERENCED FEMA MAP UNLESS OTHERWISE NOTED - THIS SURVEY DOES NOT CONSTITUTE A TITLE RESEARCH, FLOOD STUDY, WETLAND DELINEATION OR ENVIRONMENTAL INSPECTION BY SURVEYOR.



- NOTES
- TAX MAP NOS. 0178000503700, 0178000504100, 4200, 4300, 4400, 4500, 4600, 4700, 4800, & 4900
  - CURRENT SETBACKS: FRONT: 20', SIDE: 5', REAR: 15'
  - SIWALKS TO BE INSTALLED AS SHOWN ON PLAT.

S120378



LOCATION MAP NOT TO SCALE

**PRELIMINARY PLAT**  
CITY OF GREENVILLE, GREENVILLE COUNTY, STATE OF SOUTH CAROLINA

**HENIGAN LANE**

OWNER  
HIGHLAND TERRACE, LLC  
PO BOX 391  
GREENVILLE, SC 29602

NO. OF ACRES: 2.22± MILES OF NEW ROAD: 0.04  
NO. OF LOTS: 8 DATE: 08/08/2016  
ERROR OF CLOSURE: 1:10000 8/24/16 Rev  
CURRENT ZONING: R-6

SCALE: 1" = 20'

**SITE DESIGN, INC.**  
CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS  
800 EAST WASHINGTON ST. SUITE B GREENVILLE, SC 29601  
PH: (864)271-0496 FAX: (864)271-0492  
www.sitedesign-inc.com



- LEGEND**
- BL BUILDING LINE
  - CL CENTERLINE
  - CM CORRUGATED METAL PIPE
  - CT CRIMP TOP
  - DE DRAINAGE EASEMENT
  - EP EDGE OF PAVEMENT
  - IPO IRON PIN OLD-O
  - IPS IRON PIN SET-O
  - N&C NAIL & CAP
  - OT OPEN TOP
  - RB REBAR
  - RCF REINFORCED CONC PIPE
  - R/W RIGHT OF WAY
  - SD STORM DRAIN
  - SS SANITARY SEWER
  - SSE SS EASEMENT
  - TEL TELEPHONE PEDESTAL
  - EM ELECTRIC METER
  - CB CATCH BASIN
  - DI DROP INLET
  - ET ELEC TRANS
  - EL ELEVATION
  - FX FIRE HYDRANT
  - GM GAS METER
  - GV GAS VALVE
  - IP IRON PIPE
  - PP POWER POLE
  - QA BUY ANCHOR
  - SMH SO MANHOLE
  - SMH SO MANHOLE
  - UST UNDERGROUND TEL
  - CO CLEAN OUT
  - TC/B/C TOP/BOTTOM CURB
  - TW/BW TOP/BOTTOM WALL
  - VCP VITRIFIED CLAY PIPE
  - WM WATER METER
  - WV WATER VALVE
  - WV WATER VALVE
  - C-TV CABLE TV
  - FOC FIBER OPTIC CABLE
  - OS GAS LINE
  - OHP OVERHEAD POWER
  - OHF OVERHEAD TELEPHONE
  - SD STORM DRAIN
  - SS SANITARY SEWER
  - UGP UNDERGROUND POWER
  - UGT UNDERGROUND TEL
  - W WATER LINE



**Planning Staff Report to  
Greenville Planning Commission  
October 14, 2016**  
*for the October 20, 2016 Public Hearing*

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**Docket Number:** SD 16-636  
**Applicant:** Renaissance Custom Homes  
**Property Owner:** PROPERTIES VVV LLC  
**Property Location:** CELAND ST and MACO TER  
**Tax Map Number:** 020000-03-01000, -01100, -02700, -02800  
**Acreage:** 1.328  
**Zoning:** R-6, Single-Family Residential District  
**Proposal:** MAJOR SUBDIVISION WITH 6 LOTS  
**Staff Recommendation:** Approve, subject to staff conditions included below

**Applicable Sections of the City of Greenville Code of Ordinances:**

*Sec. 2-372 Function, Powers, and Duties of the Planning Commission*  
*Sec. 19-2.3.13(A) Land Development, Subdivision*  
*Sec. 19-6 Development and Design Standards*

**Staff Analysis:**

The subject properties are proposed to be subdivided from 4 lots into 6 lots in the Nicholtown Neighborhood Overlay District. Three of the 4 lots are vacant; the 4<sup>th</sup> lot contains an existing dwelling. Lot sizes range from approximately 0.21 to 0.23 acres, which is generally consistent with the lot sizes of surrounding properties.

Lot widths range from 46 feet to 51 feet, somewhat smaller than the widths of existing properties along both Maco Terrace and Celand Street. Each lot will have frontage on Celand Street, a City-owned street. Lot 1 will have double frontage on Celand Street and Maco Terrace, a public alley. The alley does not currently comply with City standards. Per Engineering comments, new right-of-way along Maco Terrace shall be dedicated as necessary to comply with the City's public alley standards. This may reduce the width of Lot 1, currently shown on the preliminary plat as 46.5 feet. Since Lot 1 is a corner lot, it shall also be subject to the special yard setback requirements (Sec. 19-5.2.8). The minimum requirement for R-6 properties is 6,000 square feet and 40 feet in width.

The Nicholtown Design Guidelines include standards for single-family detached homes, and this development shall be compatible with the intent of these Guidelines, including architectural features and lot layout standards that are consistent with the prevailing neighborhood pattern. Development of each lot will also be required to comply with the Single-Family Residential Infill Standards, Section 19-6.9.

## **Planning Conditions**

**Recommend:** Approve w/conditions

1. This development shall comply with the intent of the Nicholstown Design Guidelines, including architectural features and lot layout standards that are consistent with the prevailing neighborhood pattern.
2. Street trees shall be installed consistent with Sec. 19-6.2. Existing trees in the right-of-way should be preserved, if possible.
3. Variances from Article 19-5, *Dimensional Standards and Measurements*, will not be considered for this development.

## **City Engineer Comments**

**Recommend:** Approve w/ Conditions

Preliminary subdivision approval is subject to the applicant satisfying all conditions and requirements of the Civil, Traffic and Environmental Engineering divisions.

## **Civil Engineer Comments**

**Recommend:** Approve w/ Conditions

## **Standard Comments**

- 1) The development shall meet the requirements of Article 19-2.3.13(A) Land Development – Subdivision of the Land Management Ordinance of the City of Greenville.
- 2) All proposed public and private improvements shall meet the requirements of Section 19-6.7 Site Development and Related Infrastructure of the City's Land Management Ordinance. The design and construction of the public and private infrastructure shall conform to all applicable federal and state regulations and the requirements of the City's design and specifications manual.
- 3) Right of Way Encroachment Permits - All improvements proposed within the City's public right of way shall be subject to the requirements of Articles I and II of Chapter 36 – Streets, Sidewalks and Other Public Places of the City of Greenville Code of Ordinances. As required, all improvements or construction activity performed within the right of way of Celand Street or Maco Terrace will require an approved encroachment permit.
- 4) Final Plat – A Final Plat shall be recorded for the subdivision. The final plat will require a separate application and shall be submitted in conformance with the Final Plat requirements as outlined in Appendix F of the City's Administrative Manual. All required public and private infrastructure improvements shall be permitted, constructed and accepted by the respective agencies or bonded prior to approving the final plat for recording.
- 5) A Site Plan Permit shall be approved for the development detailing the demolition, grading and stormwater, utility improvements and site access.

## **Site Specific Comments**

- 6) Utility/Road Repair – Utility cuts and other construction impacts to Celand Street will be performed in accordance with Ordinance 36-109. Any utility cut exceeding 20 feet in length or width may require repaving the road up to 100 feet on either side of the repair area. Utility cuts and the require road repair will be evaluated further with the site grading permit but it is anticipated that Celand Street will have to be milled and resurfaced for the entire length of the subdivision frontage.

- 7) Sidewalk - The project shall comply with the City's requirement for sidewalks. A new 5.0' wide concrete sidewalk with a minimum 2.0' curb lawn shall be constructed along Celand Street.
- 8) The preliminary plat does not reflect a stormwater management plan for water quality or detention. The stormwater management plan must be approved for the subdivision. If required, any stormwater management areas or structures shall be recorded within an easement with applicable ownership and maintenance responsibilities established on the plat.
- 9) Right of Way Dedication – Based on the survey, it appears that the property corner for Lot 1 is located within the existing pavement of Celand Street. New right of way shall be dedicated as necessary to ensure all existing public infrastructure and new public improvements installed along Celand Street and Maco Terrace are within the public right of way. The portion of Maco Terrace that this subdivision fronts is considered a public alley but the existing right of way width does not comply with City standards. Right of way shall be dedicated along this frontage to comply with City public alley standards.
- 10) Sight Triangles – A minimum 25'x25' sight triangle shall be maintained at the intersection with Celand Street and Maco Terrace. Sight triangles are measured from the curb or edge of the pavement, and defined as the triangular area created by a line connecting points on the front and side at the defined distances. Within the sight triangle no fence, wall, sign or other structure, no slope or embankment, no parked vehicle, no hedge, foliage or other planting, and no other object shall be placed, erected, or maintained that would obstruct visibility between a height of three feet and nine feet measured vertically from the ground level at the pavement.
- 11) Street Design - The radius return at the Celand Street and Maco Terrace intersection shall be improved to meet city standards for a low volume residential street.

### **Environmental Engineer Comments**

#### **Recommend:** Approve w/ Comments

- 1) Wastewater – Wastewater service for the development will be subject to the following conditions:
  - a. There are existing City sewer mains in Maco Terrace and Celand Street available to serve this development. The developer must confirm that the existing sewer system/treatment plant has available flow from the City and ReWa.
  - b. The wastewater permitting and acceptance process shall meet those requirements set forth in the City of Greenville Design and Specifications Manual Chapter 8.
  - c. Each building shall have a separate and direct connection to the City's sanitary sewer main.
  - d. Prior to using an existing lateral, the existing lateral must be tested to ensure that it conforms to City of Greenville performance requirements. Provide a video documenting the condition of the existing service connection prior to its reuse. A new lateral will be required if the existing lateral is in poor condition. The final Certificate of Occupancy will not be issued until the lateral is shown to be in good condition or a new lateral is installed.
  - e. Each building shall require a new service fee through ReWa.
- 2) Stormwater Management – The development is considered a larger common plan and must be performed in conformance with the City's stormwater ordinance (Article 19-7:

Stormwater Management). Specifically, the development will be subject to the following conditions:

- a. If the proposed development creates a new impervious surface greater than or equal to 0.25 acres, water quantity will be required for the 2, 10 & 25 year 24 hour storm event with no significant increase in the 100 year 24 hour storm event.
  - b. Any stormwater drainage system conveying offsite water shall be designed in compliance with the Stormwater Ordinance.
  - c. Water quality treatment is required when either:
    - The proposed development has a total impervious surface area ratio of 60% or greater and disturbs 50% or more of the parcel or larger common plan over a five year period; or;
    - The proposed development creates a new impervious surface greater than or equal to 0.25 acres.
- 3) Floodplain - The subject property is not located in a FEMA floodplain as determined utilizing 2014 Flood Insurance Rate Maps.

### **Parks & Recreation Comments**

**Recommend:** Approve w/ Conditions

Existing trees in right of way should be preserved.

### **Traffic Engineer Comments**

**Recommend:** Approve

### **Fire Department Comments**

**Recommend:** Approve w/ Comments

Access for fire and emergency vehicles is sufficient.



- c. Photographs of surrounding area;
- d. Site plan, showing building(s) footprint, parking lot layout, pedestrian and vehicular access, internal walkways, amenities (i.e. Pool, playground, picnic area, etc.), and service areas (i.e. Dumpster pad/trash collection area, HVAC units, car wash area, etc.);
- e. Grading plan, showing existing and proposed topographic contours, storm drainage collection facilities, existing and proposed retaining walls (with top-of-wall and bottom-of-wall elevations for at least the ends of the walls and the high point of the walls);
- f. Building elevations, of all sides of the building(s), with exterior materials and colors indicated;
- g. Plan showing elevation of proposed buildings in relation to adjoining structures;
- h. Building floor plans;
- i. Landscape plan, showing existing vegetation that will remain and the new plants to be added; and
- j. Lighting plan, showing location of light fixtures (on the site and on the building), cut sheets of the proposed light fixtures, and wattage.

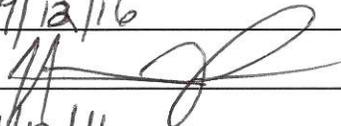
**Please verify that all required information is reflected on the plan(s). Please submit two (2) paper copies and one (1) electronic version of the plan(s).**

7. Please read carefully: The applicant and property owner affirm that all information submitted with this application; including any/all supplemental information is true and correct to the best of their knowledge and they have provided full disclosure of the relevant facts.

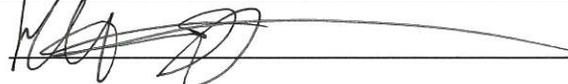
In addition the applicant affirms that the applicant or someone acting on the applicant's behalf has made a reasonable effort to determine whether a deed or other document places one or more restrictions on the property that preclude or impede the intended use and has found no record of such a restriction.

If the planning office by separate inquiry determines that such a restriction exists, it shall notify the applicant. If the applicant does not withdraw or modify the application in a timely manner, or act to have the restriction terminated or waived, then the planning office will indicate in its report to the planning commission that granting the requested change would not likely result in the benefit the applicant seeks.

8. To that end, the applicant hereby affirms that the tract or parcel of land subject of the attached application is \_\_\_ or **is not**  restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the requested activity.

*Signatures	
Applicant	Renaissance Custom Homes LLC
Date	9/12/16
Property Owner/Authorized Agent	
Date	9/12/16

STOP: To be filled when application submitted to Planning & Development (excluding Minor Subdivisions)	
has 2	'Public Hearing' signs are acknowledged as received by the applicant
<input checked="" type="checkbox"/>	Received information for public meeting - labels emailed 
<input checked="" type="checkbox"/>	Received information for materials board requirements

APPLICANT SIGNATURE 

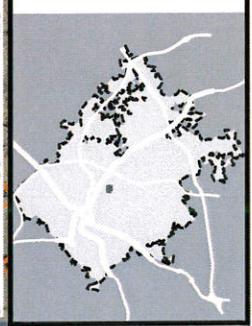
# 22, 24, 30, 34 Celand St - Aerial



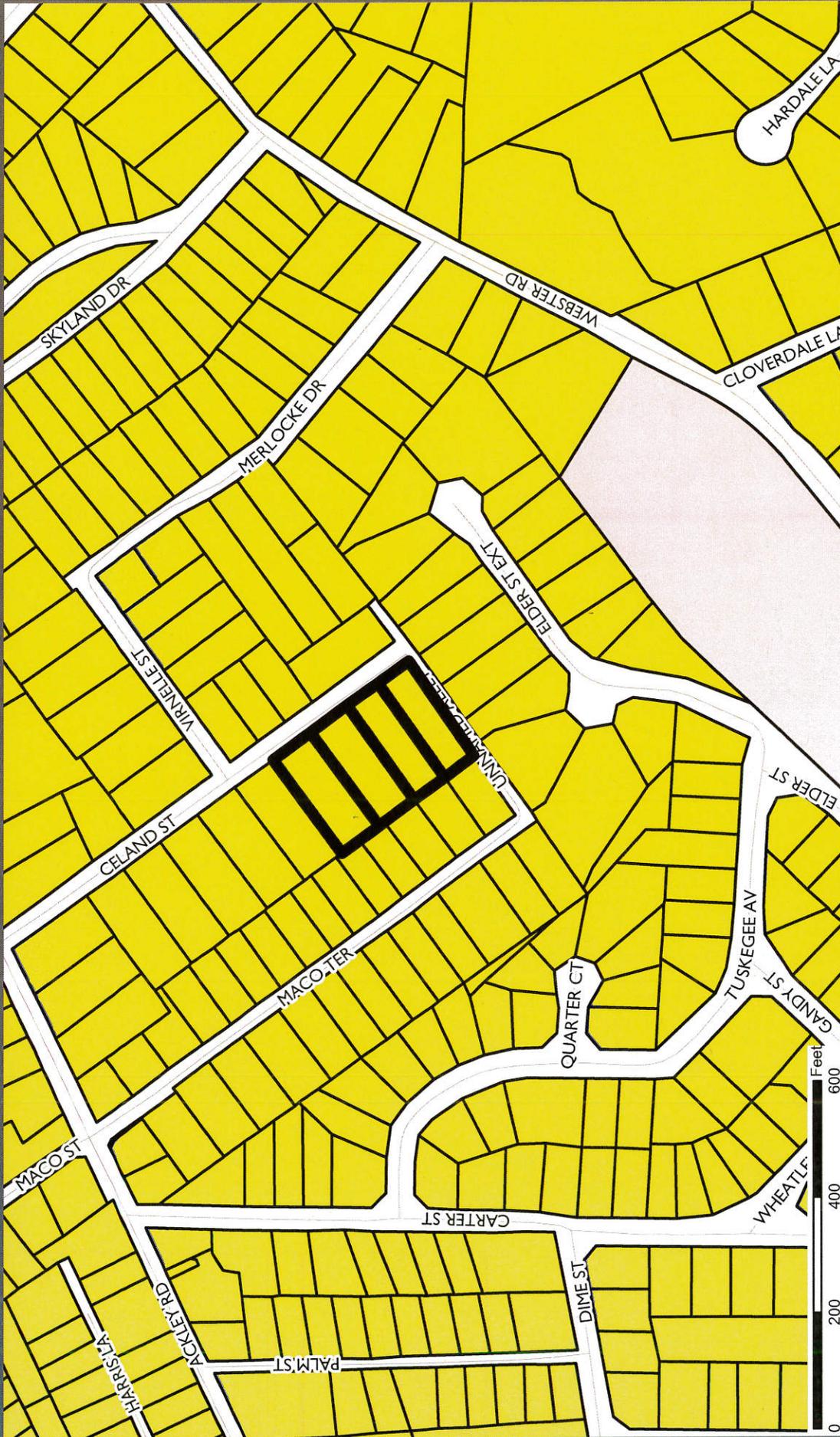
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 City Limit Boundary

 Parcels



# 22, 24, 30, 34 Celand St - Existing Zoning

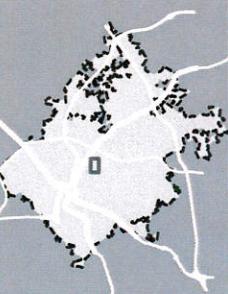




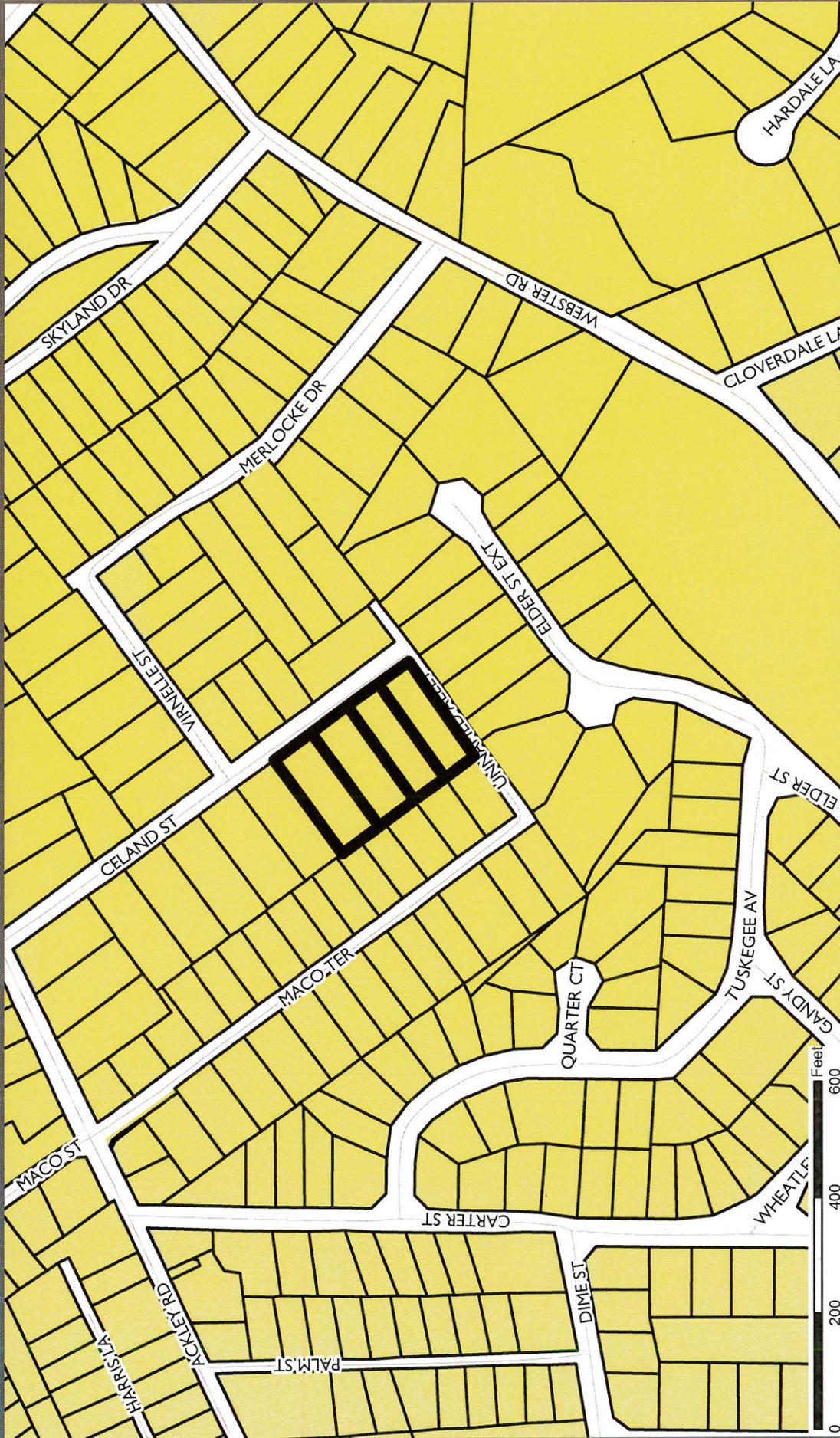
city of  
**greenville**  
*South Carolina*

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	City Limit Boundary		I-1		POD
	Streets		RM-3		OS-C
	Parcels		C-1		RDV
			C-2		OD
			C-3		PD
			C-4		
			RM-1		
			RM-1.5		
			RM-2		
			S-1		
			R-6		
			R-7.5		
			R-9		



# 22, 24, 30, 34 Celand St - Future Land Use





City of  
**greenville**  
*South Carolina*

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	Transit Oriented Development		General Residential		City Limit Boundary
	Mixed Use City Center		Urban Residential		Streets
	Parks, Open Space, and Schools		Mixed Use Neighborhood		Parcels
	High Intensity Non-Residential		Mixed Use Community		
			Mixed Use Regional		









**Planning Staff Report to  
Greenville Planning Commission  
October 13, 2016**  
*for the October 20, 2016 Public Hearing*

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**Docket Number:** SD 16-638  
**Applicant:** Mark Thoennes Builders LLC  
**Property Owner:** G & V INVESTMENTS LP  
**Property Location:** 601 ARLINGTON AV  
**Tax Map Number:** 008400-01-03100  
**Acreage:** 0.65  
**Zoning:** RDV, Redevelopment District  
**Proposal:** Land Development Permit, Preliminary Plat  
**Staff Recommendation:** Approval, subject to department comments listed below

**Staff Analysis:** The subject property, located on the southwest corner of Arlington Avenue and South Leach Street, was developed for doctors' offices when Greenville General Hospital was located in the area. Since the relocation of the hospital, the building has remained largely vacant. While there are several properties in the area with similar characteristics, the neighborhood remains primarily residential. The city is experiencing renewed interest in residential uses close to downtown.

The applicant proposes to redevelop the site for ten residential townhouses. Therefore, a preliminary subdivision plat for 11 lots (ten residential lots and one common area lot) is proposed. Eight of the townhouses will face Arlington Avenue and have vehicular access from an internal driveway situated between South Leach Street and Finchers Alley. Two additional townhouses will be located adjacent to the internal access drive.

**City Engineer Comments**

**Recommend:** Approve w/ Conditions

**Comments:**

Preliminary subdivision approval is contingent upon the applicant satisfying all conditions and requirements of the Civil, Traffic and Environmental Engineering divisions.

**Civil Engineer Comments**

**Recommend:** Approve w/ Conditions

**Comments:**

**Standard Comments**

- 1) The development shall meet the requirements of Article 19-2.3.13(A) Land Development – Subdivision of the Land Management Ordinance of the City of Greenville.
- 2) All proposed public and private improvements shall meet the requirements of Section 19-6.7 Site Development and Related Infrastructure of the City's Land Management Ordinance. The design and construction of the public and private infrastructure shall conform to all applicable federal and state regulations and the requirements of the City's design and specifications manual.

- 3) Right of Way Encroachment Permits - All improvements proposed within the City's public right of way shall be subject to the requirements of Articles I and II of Chapter 36 – Streets, Sidewalks and Other Public Places of the City of Greenville Code of Ordinances. As required, all improvements or construction activity performed within the right of way of Arlington Avenue, South Leach Street or Finchers Alley will require an approved encroachment permit.
- 4) Final Plat – A Final Plat shall be recorded for the subdivision. The final plat will require a separate application and shall be submitted in conformance with the Final Plat requirements as outlined in Appendix F of the City's Administrative Manual. All required public and private infrastructure improvements shall be permitted, constructed and accepted by the respective agencies or bonded prior to approving the final plat for recording.
- 5) A Site Plan Permit shall be approved for the development detailing the demolition, grading and stormwater, utility improvements and site access.

### **Site Specific Comments**

- 6) Utility/Road Repair – Utility cuts and other construction impacts to City streets will be performed in accordance with Ordinance 36-109. Any utility cut exceeding 20 feet in length or width may require repaving the road up to 100 feet on either side of the repair area. Utility cuts and the require road repair will be evaluated further with the site grading permit but it is anticipated that Arlington Avenue will have to be milled and resurfaced for the entire length of the subdivision frontage.
- 7) Sidewalk - The project shall comply with the City's requirement for sidewalks. A new 5.0' wide concrete sidewalk with a minimum 4.0' curb lawn shall be constructed along Arlington Avenue and a new 5.0' wide concrete sidewalk with a minimum 2.0' curb lawn shall be constructed along South Leach Street.
- 8) The preliminary plat does not reflect a stormwater management plan for water quality or detention. The stormwater management plan must be approved for the subdivision. If required, any stormwater management areas or structures shall be recorded within an easement with applicable ownership and maintenance responsibilities established on the plat.
- 9) Right of Way Dedication –New right of way shall be dedicated as necessary to ensure all existing public infrastructure and new public improvements installed along Arlington Avenue, South Leach Street or Finchers Alley are within the public right of way. Finchers Alley is a public alley but the existing right of way width does not comply with City standards. Right of way shall be dedicated along this frontage to comply with City public alley standards.
- 10) Sight Triangles – A minimum 25'x25' sight triangle shall be maintained at the intersection with Arlington Avenue/South Leach Street and Arlington Avenue/Finchers Alley. Sight triangles are measured from the curb or edge of the pavement, and defined as the triangular area created by a line connecting points on the front and side at the defined distances. Within the sight triangle no fence, wall, sign or other structure, no slope or embankment, no parked vehicle, no hedge, foliage or other planting, and no other object shall be placed, erected, or maintained that would obstruct visibility between a height of three feet and nine feet measured vertically from the ground level at the pavement.
- 11) Finchers Alley – To improve and promote pedestrian accessibility, a standard drop curb driveway apron shall be installed for Finchers Alley connection to Arlington Avenue.
- 12) The development will require an extension of the City's sanitary sewer system and an extension of the water system to serve the new lots. A 25' easement will need to be established for this line.
- 13) HOA Covenants, Conditions and Restrictions – A declaration of covenants, conditions and restrictions shall be recorded with the Greenville County Register of Deeds Office establishing ownership and maintenance responsibilities of any proposed stormwater management features and/or other common elements of the subdivision. A reference to the declaration of covenants and restrictions shall be provided 14) on the final plat.

## **Environmental Engineer Comments**

**Recommend:** Approve w/ Comments

### **Comments:**

- 1) Wastewater – Wastewater service for the development will be subject to the following conditions:
  - a. There are existing City sewer mains available to serve this development. The developer must confirm that the existing sewer system/treatment plant has available flow from the City and ReWa.
  - b. The wastewater permitting and acceptance process shall meet those requirements set forth in the City of Greenville Design and Specifications Manual Chapter 8.
  - c. Each building shall have a separate and direct connection to the City's sanitary sewer main.
  - d. Prior to using an existing lateral, the existing lateral must be tested to ensure that it conforms to City of Greenville performance requirements. Provide a video documenting the condition of the existing service connection prior to its reuse. A new lateral will be required if the existing lateral is in poor condition. The final Certificate of Occupancy will not be issued until the lateral is shown to be in good condition or a new lateral is installed.
  - e. Each building shall require a new service fee through ReWa.
- 2) Stormwater Management – The development is considered a larger common plan and must be performed in conformance with the City's stormwater ordinance (Article 19-7: Stormwater Management). Specifically, the development will be subject to the following conditions:
  - a. If the proposed development creates a new impervious surface greater than or equal to 0.25 acres, water quantity will be required for the 2, 10 & 25 year 24 hour storm event with no significant increase in the 100 year 24 hour storm event.
  - b. Any stormwater drainage system conveying offsite water shall be designed in compliance with the Stormwater Ordinance.
  - c. Water quality treatment is required when either:
    - The proposed development has a total impervious surface area ratio of 60% or greater and disturbs 50% or more of the parcel or larger common plan over a five year period; or;
    - The proposed development creates a new impervious surface greater than or equal to 0.25 acres.
- 3) Floodplain - The subject property is not located in a FEMA floodplain as determined utilizing 2014 Flood Insurance Rate Maps.

## **Traffic Engineer Comments**

**Recommend:** Approve w/ Conditions

### **Comments:**

Traffic Impact Analysis form is required for all proposed developments. It can be found at: <http://greenvillesc.gov/FormCenter/Engineering-22/Traffic-Impact-Analysis-Warrant-Form-223>. Please fill out and submit online.

## **Fire Department Comments**

**Recommend:** Approve w/ Conditions

### **Comments:**

It appears from the site plan that the alley will be widened to 25 feet, if that is correct then the access will be sufficient for fire and emergency vehicles.

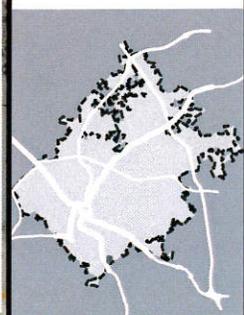
# 601 Arlington Av -Aerial



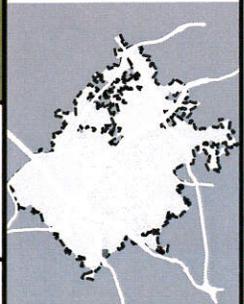
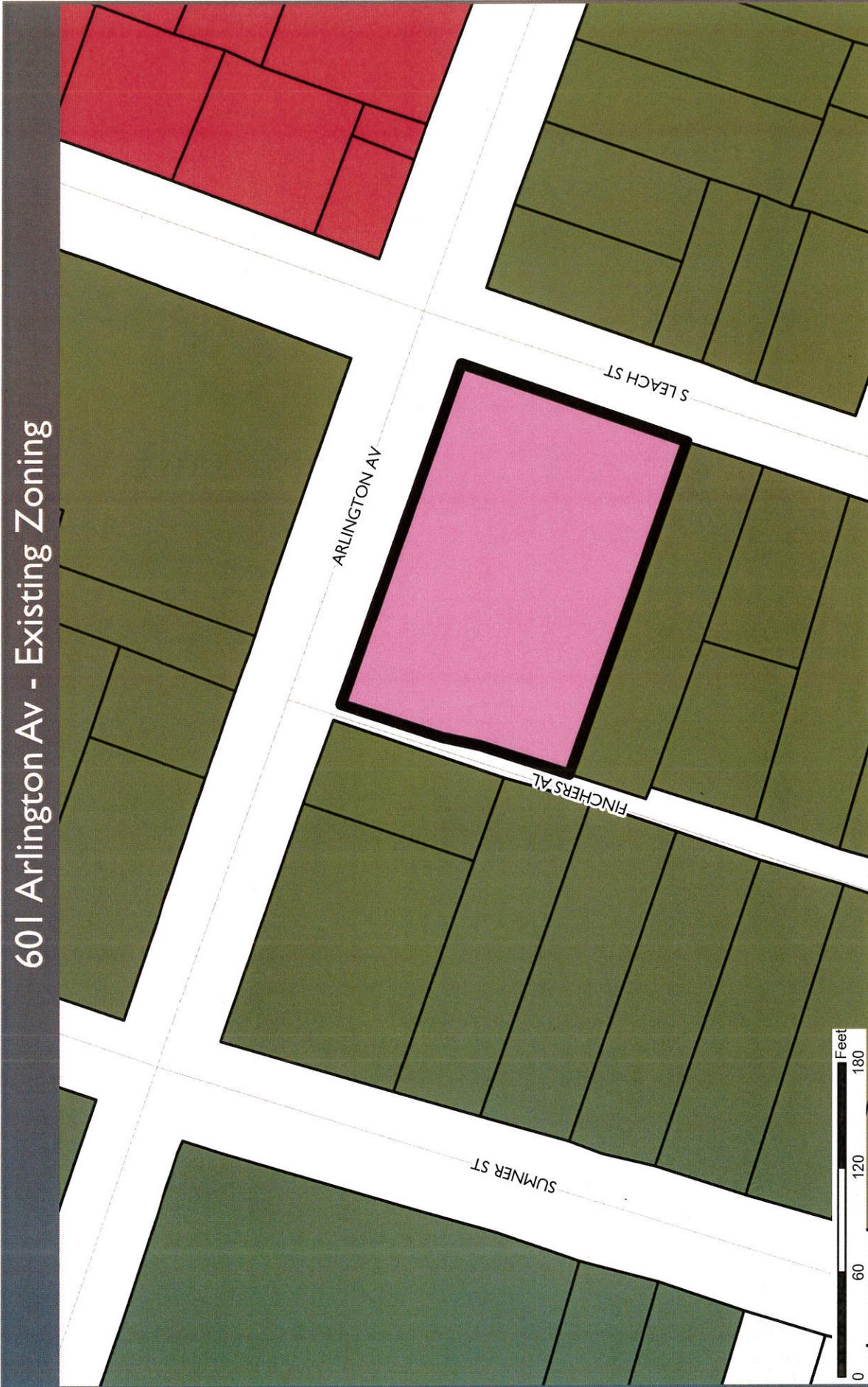
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 City Limit Boundary

 Parcels



# 601 Arlington Av - Existing Zoning

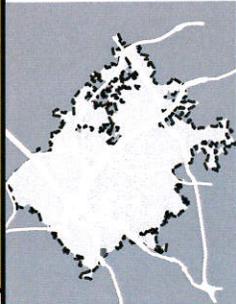


	City Limit Boundary		C-1		C-IN		RM-3		I-1		POD
	Streets		C-2		RM-1		R-6		S-1		OS-C
	Parcels		C-3		RM-1.5		R-7.5		OD		RDV
			C-4		RM-2		R-9		PD		



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# 601 Arlington Av -Future Land Use



City Limit Boundary

Streets

Parcels

General Residential

Urban Residential

Mixed Use Neighborhood

Mixed Use Community

Mixed Use Regional

Transit Oriented Development

Mixed Use City Center

Parks, Open Space, and Schools

High Intensity Non-Residential



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# city of greenville

## APPLICATION FOR LAND DEVELOPMENT PERMIT

Contact Planning & Development (864) 467-4476

### Office Use Only:

Application# SD 16-638 Fees Paid 550.  
Date Received 9-12-16 Accepted By [Signature]  
Date Complete \_\_\_\_\_ App Deny Conditions \_\_\_\_\_

### APPLICANT/OWNER INFORMATION

\*Indicates Required Field

	APPLICANT	PROPERTY OWNER
*Name:	Mark Thoennes Builders, LLC	Gray-Chris LLC
*Title:	Developer	Owner
*Address:	217 East Stone Avenue, Suite 37, Greenville, SC 29609	5 Old Tyler Court, Greenville, SC 29615
*Phone:	864-304-9476	864-569-7133
*Email:	mark@markthoennesbuilders.com	john@meindls.com

### PROPERTY INFORMATION

\*STREET ADDRESS 601 Arlington Avenue, Greenville, SC 29601

\*TAX MAP #(S) 0084000103100

\*ZONING DESIGNATION RDV - Redevelopment District

\*# ORIGINAL LOTS 1 \*TOTAL ACREAGE 0.65

\*# PROPOSED LOTS 11 \*TOTAL ACREAGE 0.65

### INSTRUCTIONS

- Please refer to **section 19-2.3.13, Land Development**, for additional information.
- All applications and fees (made payable to the City of Greenville) for land development permits must be received by the planning and development office no later than 5:00 pm of the date reflected on the attached schedule.
  - Minor Subdivision – (2 lots) \$300.00 - Summary Plat review, *administrative review*
  - Major subdivision – (3-10 lots) \$300.00 - Preliminary Plat review, *public hearing required*
  - Major subdivision – (11+ lots) \$550.00 - Preliminary Plat review, *public hearing required*
  - Multifamily development \$550.00 - *public hearing required*
- The staff will review the application for “sufficiency” pursuant to Section 19-2.2.6, Determination of Sufficiency. The staff will contact the applicant to correct any deficiencies which must be corrected prior to placing a land development application on the planning commission agenda. You are encouraged to schedule an application conference with a planner who will review your application for “sufficiency” at the time it is submitted. Call (864) 467-4476 to schedule an appointment.
- Land development applications require a public hearing before the planning commission and must be posted at least 15 days (but not more than 18 days) prior to the scheduled hearing date.
- Subdivision Plat format and content requirements are reflected in the Administrative Manual at Appendix ‘F’.
- Multifamily Development plan format and content requirements are reflected in the Administrative Manual at Appendix ‘H’. The information shall include at a minimum:
  - Completed application for land development permit;
  - Context map, showing relationship of proposed development to the surrounding neighborhood;

- c. Photographs of surrounding area;
- d. Site plan, showing building(s) footprint, parking lot layout, pedestrian and vehicular access, internal walkways, amenities (i.e. Pool, playground, picnic area, etc.), and service areas (i.e. Dumpster pad/trash collection area, HVAC units, car wash area, etc.);
- e. Grading plan, showing existing and proposed topographic contours, storm drainage collection facilities, existing and proposed retaining walls (with top-of-wall and bottom-of-wall elevations for at least the ends of the walls and the high point of the walls);
- f. Building elevations, of all sides of the building(s), with exterior materials and colors indicated;
- g. Plan showing elevation of proposed buildings in relation to adjoining structures;
- h. Building floor plans;
- i. Landscape plan, showing existing vegetation that will remain and the new plants to be added; and
- j. Lighting plan, showing location of light fixtures (on the site and on the building), cut sheets of the proposed light fixtures, and wattage.

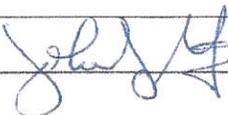
**Please verify that all required information is reflected on the plan(s). Please submit two (2) paper copies and one (1) electronic version of the plan(s).**

- 7. Please read carefully: The applicant and property owner affirm that all information submitted with this application; including any/all supplemental information is true and correct to the best of their knowledge and they have provided full disclosure of the relevant facts.

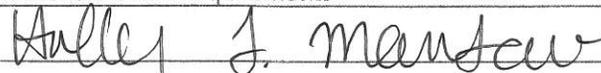
In addition the applicant affirms that the applicant or someone acting on the applicant's behalf has made a reasonable effort to determine whether a deed or other document places one or more restrictions on the property that preclude or impede the intended use and has found no record of such a restriction.

If the planning office by separate inquiry determines that such a restriction exists, it shall notify the applicant. If the applicant does not withdraw or modify the application in a timely manner, or act to have the restriction terminated or waived, then the planning office will indicate in its report to the planning commission that granting the requested change would not likely result in the benefit the applicant seeks.

- 8. To that end, the applicant hereby affirms that the tract or parcel of land subject of the attached application is \_\_\_ or is not \_\_\_ restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the requested activity.

*Signatures	
Applicant	 Mark Thoennes builders
Date	9/12/16
Property Owner/Authorized Agent	Gray-Chris, LLC 
Date	9-12-16

STOP: To be filled when application submitted to Planning & Development (excluding Minor Subdivisions)	
2	'Public Hearing' signs are acknowledged as received by the applicant
✓	Received information for public meeting (labels emailed)
	Received information for materials board requirements

APPLICANT SIGNATURE 





**Planning Staff Report to  
Greenville Planning Commission  
October 13, 2016**  
*for the October 20, 2016 Public Hearing*

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**Docket Number:** MD 16-637  
**Applicant:** Mark Thoennes Builders LLC  
**Property Owner:** G & V INVESTMENTS LP  
**Property Location:** 601 ARLINGTON AV  
**Tax Map Number:** 008400-01-03100  
**Proposal:** Land Development Permit, Multi-Family Development  
**Staff Recommendation:** Approval, subject to staff approval of site lighting, fence details and final materials and colors.

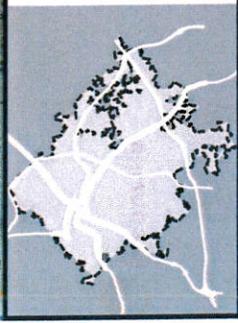
**Staff Analysis:** The applicant proposes to develop ten townhouses on 0.65 acre of land located on the southwest corner of Arlington Avenue and South Leach Street. Eight of the townhouses are oriented to Arlington Avenue. The other two face South Leach Street. An internal driveway will provide access to individual garages and four surface parking spaces. The driveway will connect to South Leach Street and Finchers Alley. A public sidewalk will be installed along the property frontage of Arlington Avenue. Curb-and-gutter and sidewalk will be extended along the property's frontage on South Leach Street.

The design of the townhouses is traditional with a contemporary flair. The base of the buildings will be clad in an alternating pattern of smooth and split-faced stone. The remaining facades of the buildings will be clad in painted brick, with the exception of the roof-top elements. The roof-top spaces will be clad in cement fiber lap siding. Large, two-story window bays dominate the front façade of each townhouse. The window frames will be dark bronze. Mahogany front doors and cast stone steps will identify the individual entrances. A materials and color board will be presented at the hearing.

The Design Review Board liked the design of the project. One comment that was not the consensus of the Board related to a preference for unpainted brick due to visual impact of brick's texture, and long-term maintenance issues.

A wrought-iron-look aluminum fence with individual gates for each townhouse along Arlington Avenue was discussed during pre-application meetings with the applicant, but is not identified on the plans submitted. A 6' tall solid wood fence and Okame Cherry trees will create a buffer to the adjoining residential uses at the rear of the property. Site lighting locations are also shown on the landscape plan, but details were not submitted.

# 601 Arlington Av - Aerial



City Limit Boundary



Parcels



city of  
**greenville**  
*South Carolina*

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# LED Vapor Tight-Style Decorative Lights

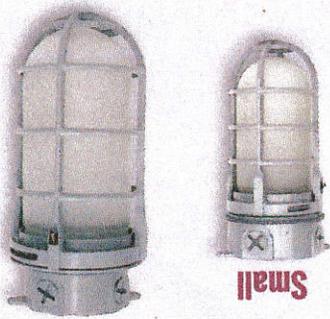
**Recommended Use:**  
 • Cold storage  
 • Manufacturing  
 • Bridges & tunnels

**Typical Mounting Height:** 8 to 12 feet  
**Typical Spacing:** 12 feet

## Ceiling Mount

**Dimensions:** 9-1/3" H x 4-1/2" Dia (Small)  
 11-3/5" H x 5-4/5" Dia (Large)

**Product Weight:** 2.7 lbs. (Small)  
 4.4 lbs. (Large)



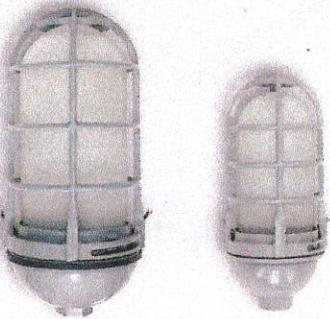
Large

Small

## Pendant Mount

**Dimensions:** 10" H x 4-1/2" Dia (Small)  
 12-2/5" H x 5-4/5" Dia (Large)

**Product Weight:** 2.4 lbs. (Small)  
 4.1 lbs. (Large)



Large

Small

## Wall Mount

**Dimensions:** 5-4/5" L x 4-2/5" W x 10" H (Small)  
 9" L x 5-4/5" W x 12-2/5" H (Large)

**Product Weight:** 3.3 lbs. (Small)  
 5.2 lbs. (Large)



Large

Small

**CREE**  
 NON-DIMMABLE  
 LEDS

5 YEAR WARRANTY

DISCOVER NETWORK VISA MasterCard

www.e-conlight.com 888.243.9445

**OVER EACH GARAGE DOOR AND SIDES OF DOORS ON PORCHES**  
**IP66 RATED Vapor Tight Style ONE ON ENTRY PORCHES**  
*available on page 38*



**15" Aluminum Shroud with Powder-Coat Finish (Large)**  
 SKU: E-MTAC01L  
 USE: (Gray outer surface, white interior)  
 Not for use with Wall Mount  
 PRICE: \$25.99



**15" Aluminum Shroud with Powder-Coat Finish (Small)**  
 SKU: E-MTAC01S  
 USE: (Gray outer surface, white interior)  
 Not for use with Wall Mount  
 PRICE: \$25.99

Accessories

**Lifespan:** Estimated 172,000 (Small), 118,000 (Large) hours of maintenance-free operation to L70 at 25°C (77°F)  
**Input Voltage:** 120V Operation  
**Operating Minimum:** -40°C (-40°F)  
**Housing:** Die-cast aluminum housing and lamp guard  
**Lens Assembly:** Screw-in, frosted glass globe provides uniform light distribution  
**Mounting:** Die-cast aluminum 4" junction box (Ceiling & Wall Mount)  
 5 threaded and plugged 3/4" conduit entry points (Ceiling & Wall Mount)  
 Threaded for conduit entry: 1/2" (Small), 3/4" (Large) (Pendant Mount)  
**UL Listed:** Wet locations - not Class 1 Division 1 Hazardous Rated

LARGE		SMALL	
SKU	PRICE	SKU	PRICE
E-VT14121NG	\$69.99	E-VT1411NG	\$49.99
E-VT5121NG	\$69.99	E-VT511NG	\$49.99
E-VT61221NG	\$79.99	E-VT611NG	\$59.99
Light Output	1200 Lumens	Light Output	900 Lumens
Color Temp	Neutral White (4000K)	Color Temp	Neutral White (4000K)
Power Consumption	22W LED	Power Consumption	14W LED
Color Accuracy	≥ 70 CRI	Color Accuracy	≥ 70 CRI
Replaces	120W Incandescent	Replaces	100W Incandescent
Was	<del>\$99.99</del>	Was	<del>\$79.99</del>

LARGE		SMALL	
SKU	PRICE	SKU	PRICE
E-VT31141NG	\$59.99	E-VT3111NG	\$49.99
E-VT21141NG	\$49.99	E-VT2111NG	\$49.99
E-VT31141NG	\$59.99	E-VT3111NG	\$49.99
Light Output	1200 Lumens	Light Output	900 Lumens
Color Temp	Neutral White (4000K)	Color Temp	Neutral White (4000K)
Power Consumption	22W LED	Power Consumption	14W LED
Color Accuracy	≥ 70 CRI	Color Accuracy	≥ 70 CRI
Replaces	120W Incandescent	Replaces	100W Incandescent
Was	<del>\$99.99</del>	Was	<del>\$79.99</del>





UNITS 7 THROUGH 10 SOUTH ELEVATION ( REAR)

UNITS 3 THROUGH 6 SOUTH ELEVATION ( REAR)



UNIT 10 WEST ELEVATION ( AT ALLEY)



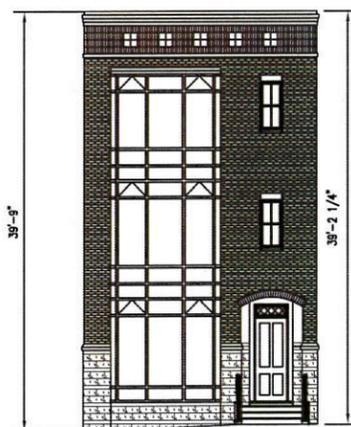
UNIT 3 EAST ELEVATION ( S. LEACH STREET)  
WALLS BETWEEN 6 & 7 SIMILAR WITHOUT FINESTRATION



UNITS 3 THROUGH 6 NORTH ELEVATION ( ARLINGTON AVENUE)



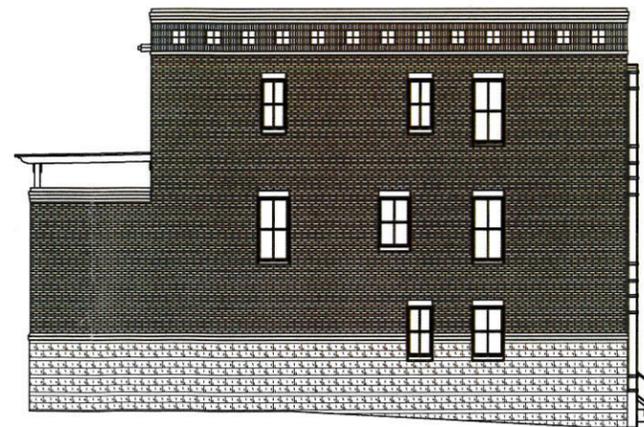
UNITS 7 THROUGH 10 NORTH ELEVATION ( ARLINGTON AVENUE)



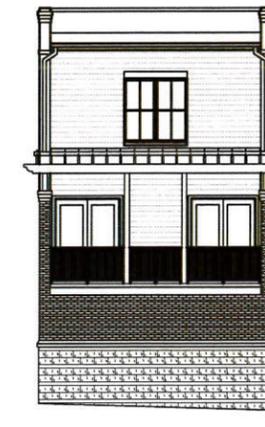
UNITS 1&2 EAST ELEVATION



UNITS 1&2 NORTH ELEVATION



UNITS 1&2 SOUTH ELEVATION



UNITS 1&2 WEST ELEVATION

- FINISHES  
 ROOFS: TPO OR STANDING SEAM METAL ( DARK BRONZE COLOR)  
 BRICK: PAINTED OFF WHITE  
 CMU: SPLITFACE AND 4" SMOOTH -SHADE DARKER THAN PAINTED BRICK  
 SIDING AND TRIM: TAUPE  
 FRONT DOORS: STAINED MAHOGANY  
 CURTAINWALLS AND WINDOWS AND REAR GUTTERS: DARK BRONZE  
 RAILINGS: DARK BRONZE  
 GARAGE DOORS: PAINTED TO MATCH CMU  
 STEPS: CAST STONE TO MATCH CMU ( CURTAINWALL MULLIONS MAY CHANGE)

- LIGHT ( NOTSHOWN)  
 WALL MOUNT LIGHTS PER CUT SHEETS WILL BE ON ONE SIDE OF FRONT PORCHES  
 ADJACENT TO DOORS AND BOTH SIDES OF DOORS AT ROOF DECKS AND REAR PORCHES PLUS ONE OVER EACH GARAGE DOOR.

**General Landscape Notes**  
City of Greenville SC  
Department of Parks and Recreation

The following notes, conditions, including landscape plan and specifications are to be strictly followed in order to receive a final Certificate of Occupancy or Final Inspection. Any changes in the species, quantity, or size must be approved prior to installation by the city's Senior Landscape Architect. The plant material and sizes are minimums and will be measured for compliance at the time of Final Inspection.

- (City Code Section 19-6.2.1 E) Maintenance - The owner of the property where the landscaping is required shall be responsible for maintenance and protection of all plant and screening material for the duration of the premises.
  - All landscape material, maintenance, and management shall conform to the minimum standards of the American National Standards Institute (ANSI) A300 Standards for Tree Care Operations.
  - Landscape areas shall be maintained in good condition and kept free of all dead plants, weeds, or debris. Failure to maintain or replace dead, damaged or diseased plant material or to repair broken wall or fence within 30 days of notification shall constitute a violation. Replaced plant material must be in compliance with the minimum size, spacing, and quality standards Section 19-6.2.
  - Trees may not be trimmed severely beyond the standards of ANSI A300 Standards for Tree Care Operations. If aggressive trimming occurs, the property will be considered nonconforming and required to replace the trees with trees meeting the minimum size, spacing and quality standards of Section 19-6.2. "Crape Murder" shall be considered a violation and replacements will be enforced
  - Buffer and screening material shall be maintained to meet the minimum size, spacing and quantity standards of table 19-6.2.1 of this section.
- (City Code Section 19-6.2.2 A7) General - The entire planting area must be scarified and contain amended on-site soil or a soil mix to a depth of 18 inches.
- (Code Section 19-6.2.2 B) Minimum planting size/height requirements - All landscaping plant material shall conform to the minimum size or height standards in table 19-6.2.1 at the time of planting as well as meet the standards of ANSI Z60.1 American Standards for Nursery Stock.
  - For newly planted trees the caliper measurement of the trunk shall be taken six inches above the top of the root flare up to and including four inch caliper size. If the caliper at six inches above the top of the root flare exceeds four inches, the caliper should be measured at 12 inches above the top of the root flare.
  - For existing trees the diameter measurement of the trunk shall be taken at DBH (diameter breast height) four and one-half feet above the average ground level.
- (City Code Section 19-6.3.2 B6) Tree protection and replacement - If the minimum protection standards are not met, or if trees are observed by the city to be injured or threatened, they may be deemed ineligible for meeting these requirements and additional trees will be required.
- (City Code Section 19-6.3.2 C3) Protection and replacement of heritage and historic trees - No construction, grading, equipment or material storage, or any other activity shall be allowed within the critical rootzone of a heritage or historic tree unless the steps taken to adequately ensure the health of the tree are submitted in writing to the city's Senior Landscape Architect for approval.
- (City Code Section 19-6.3.2 C4) Protection and replacement of heritage and historical trees - Heritage or historical trees shall not be cut, removed, pushed over, killed, harmed, trimmed, sprayed, or destroyed without written approval from the city's Senior Landscape Architect.
- (City Code Section 19-6.3.3 A) Tree protections during construction
  - Before grading begins, fencing shall be required, at a minimum, around the critical root zone of all trees that are to be preserved. Additional fencing shall be required around the critical root zone of trees on adjacent properties or located in the right-of-way.
  - Type of fencing: All fencing required by this section shall be a minimum of four feet high and of durable construction; such as wood or metal fencing.
  - Signs: Signs shall be installed on the protective fence visible on all sides of the fenced in area | minimum on each side and/or every 300 linear feet | The size of each sign must be at a minimum of one foot x one and one-half feet and shall contain the following: "TREE PROTECTION ZONE: KEEP OUT"
  - Activity within a fenced protection zone. No construction, grading, parking, equipment, or material storage, or any other activity shall be allowed within the fenced area.
  - Maintenance of fencing: For existing trees to be counted towards tree credits, they must be protected during the entire development period, beginning prior to commencement of site work. Encroachment within the tree protection zone is permitted to allow the landscape contractor access to complete the site work.
  - Critical root zone: The minimum area beneath a tree that must be left undisturbed in order to preserve a sufficient root mass to give a tree a reasonable chance of survival. The critical root zone is typically represented by a concentric circle centering on the tree trunk with a radius equal in feet to one (1) times the number of inches of the trunk diameter: (CRZ in ft) = 1 x Diameter (inches)
- (City Code Section 19-6.3.3 B) Tree protection during construction - Encroachment within the critical root zones of any tree being preserved to comply with required tree credits, or within designated tree protection zones, shall occur only in rare instances. If such an encroachment is anticipated, a written request must be made to the city's Senior Landscape Architect for allowance of encroachment. Request must detail preventative measures taken. If approved the following preventative measures shall be employed:
  - Cleaning activities: The removal of trees adjacent to a tree protection zone can cause inadvertent damage to the protected trees. Whenever possible, it is advisable to cut minimum two foot trenches along the limits of land disturbance, so as to cut, rather than tear, root. Trenching is required for the protection of historic and heritage trees.
  - Soil compaction: Where compaction might occur due to traffic or materials through the tree protection zone, the area must first be mulched with a minimum four inch layer of processed bark or wood chips or a six inch layer of pine straw. Equipment or materials storage shall not be allowed within tree protection areas.
- (City Code Section 19-6.4) Irrigation: If irrigation is provided, a rain sensor must be installed such that it shuts off irrigation system when up to 1/2" of rain has fallen.
- The bicycle rack specification and detail is to be installed as shown on plan unless written approval is granted by the city's Senior Landscape Architect, prior to installation
- For landscape or bicycle parking questions, contact: Jeff Waters 864-467-4350 | jwaters@greenville.gov

**LANDSCAPE ORDINANCE REQUIREMENTS**

**STREET TREE PLANTING:**  
**Arlington Avenue**  
City of Greenville requires:  
1 ornamental tree per 20lf of street frontage.  
Provided: 9 ornamental trees

**South Leach Street**  
City of Greenville requires:  
1 shade tree per 40lf of street frontage.  
Provided: 5 shade trees

**Rear Property Line**  
City of Greenville requires:  
5' Landscape Buffer  
6' Solid Fence  
Understory Trees Planted 20' on-center

**INTERIOR PARKING LOT LANDSCAPING:**

PARKING LOT SIZE:	5,175 SQ. FT.
1 SHADE TREE PER 2000 SQ. FT	3 TREES
8 SHRUBS PER 2000 SQ. FT	21 SHRUBS

**FOUNDATION LANDSCAPING:**  
Average depth of six feet, minimum four feet

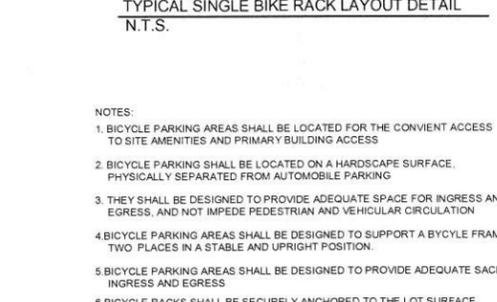
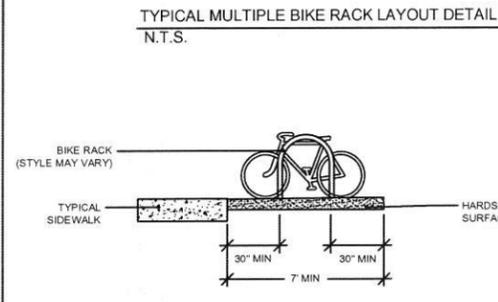
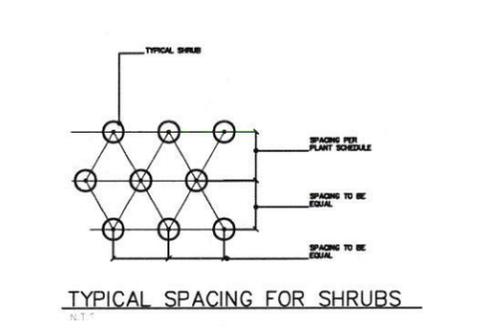
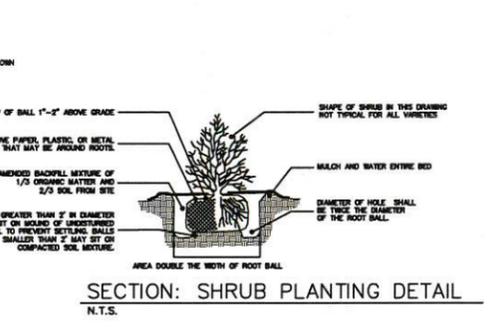
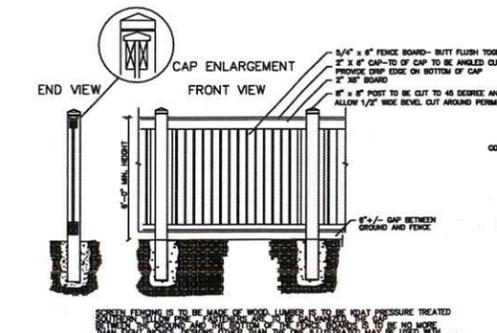
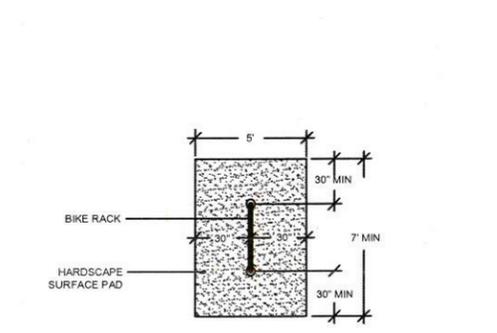
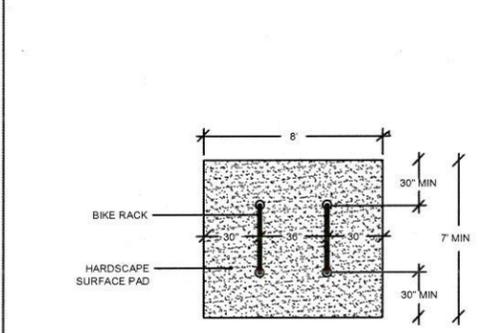
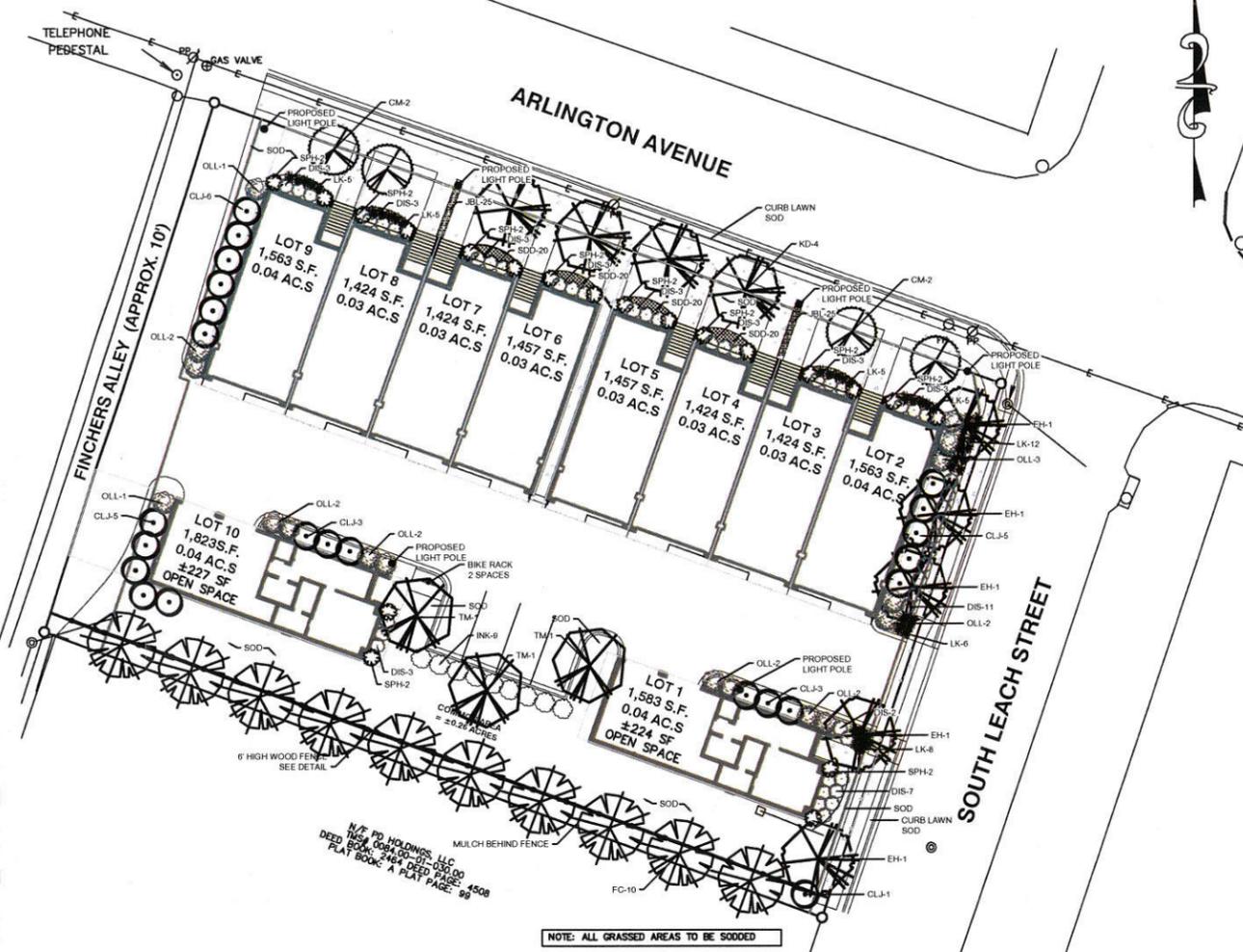
**CITY OF GREENVILLE TREE CREDITS**  
THE CITY OF GREENVILLE REQUIRES 15 TREE CREDITS PER ACRE, EXCLUDING BUILDING FOOTPRINTS

TOTAL SITE ACRES	0.65 ACRES
BUILDING ACRES	0.26 ACRES
SUBJECT CREDIT AREA	0.39 ACRES
REQUIRED CREDITS	5.85 TREE CREDITS

TREES SAVED	Quantity	Tree Species	Tree Caliper	Credit Units	Credits	
	0	xxx	40 in	11.4	0	
					Total Credits	0

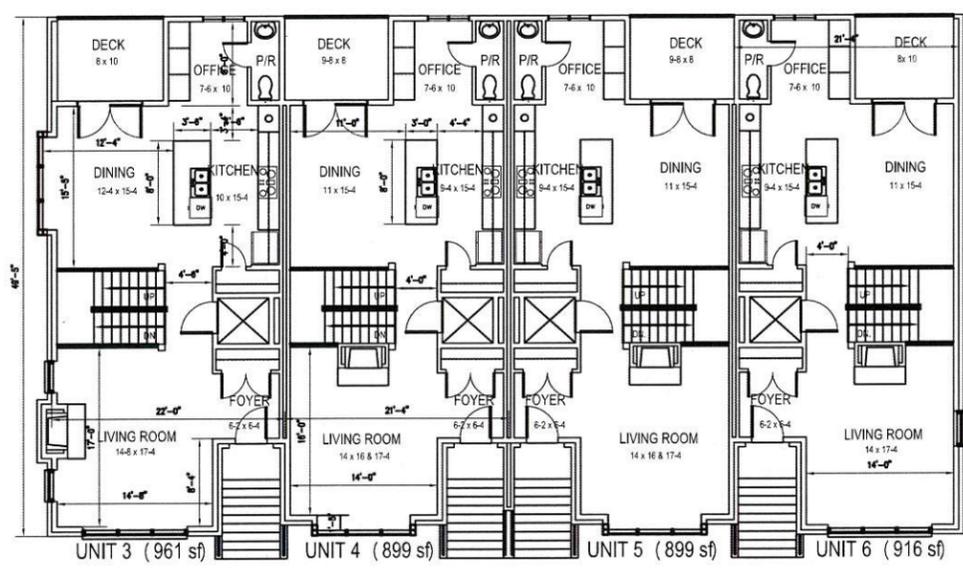
TREES PLANTED	Quantity	Tree Species	Tree Caliper	Credit Units	Credits	
	10	Cherry	3 in	0.9	9	
	3	Maple	3 in	0.9	2.7	
	5	Hornbeam	3 in	0.9	4.5	
	4	Dogwood	3 in	0.9	3.6	
					Total Credits	19.8

Existing Credits	0
Planted Credits	19.8
Required Credits	5.85
Post Development Credits	13.95 TREE CREDITS

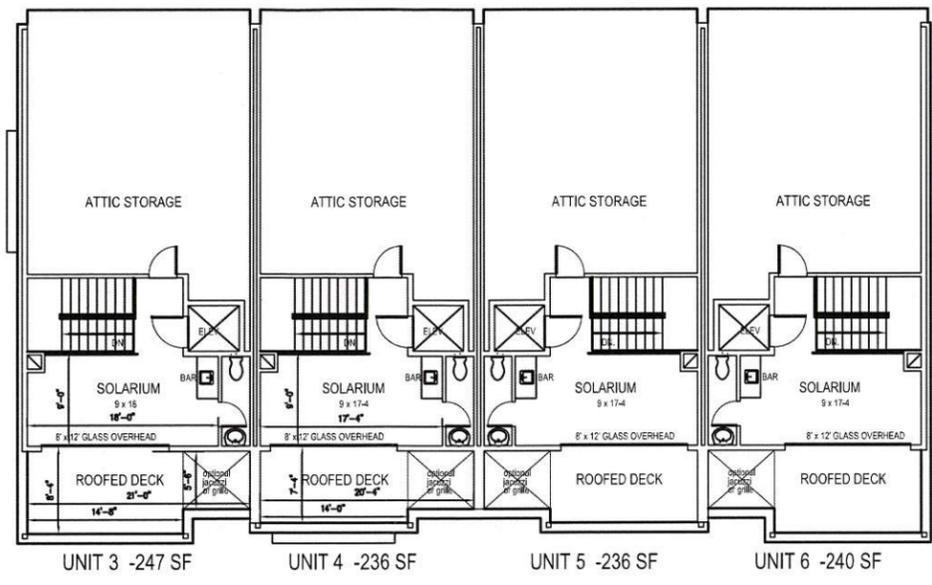


**PLANT LIST**

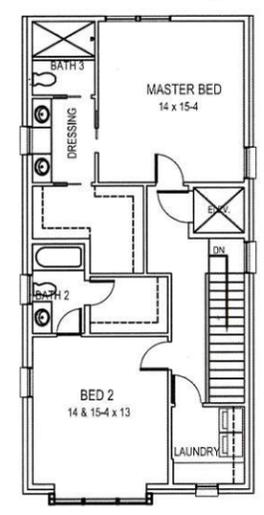
KEY	QTY	COMMON NAME	BOTANICAL NAME	SIZE
CM	4	CRAPE MYRTLE	LAGERSTRONMIA INDICA 'SIOUX'	2" CALIPER
EH	5	UPRIGHT EUROPEAN HORNBEAM	CARPINUS BETULUS 'FASTIGIATA'	3" CALIPER
FC	10	OKAME CHERRY	PRUNUS OKAME	3" CALIPER
TM	3	TRIDENT MAPLE	ACER BUERGERIANUM	3" CALIPER
KD	4	KOUSA DOGWOOD	CORNUS KOUSA	3" CALIPER
CLJ	23	CLEYERA	CLEYERA JAPONICA	18" MIN HEIGHT
DIS	46	VINTAGE JADE DISTYLUM	DISTYLUM MYCROIDES 'VINTAGE JADE'	18" MIN HEIGHT
INK	9	INKBERRY HOLLY	ILEX GLABRA	18" MIN HEIGHT
OLL	17	OTTO LUYKEN LAUREL	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	18" MIN HEIGHT
SPH	20	SKY PENCIL HOLLY	ILEX CRENATA 'SKY PENCIL'	48" MIN HEIGHT
JBL	50	JOHN BIRCH LIRIOPE	LIRIOPE MUSCARI 'JOHN BIRCH'	4" POT
SDD	80	STELLA D' ORO DAYLILY	HEMEROCALLIS STELLA D' ORO	1 GALLON
SOD		BERMUDA		
MULCH		SHREDDED HARDWOOD MULCH		



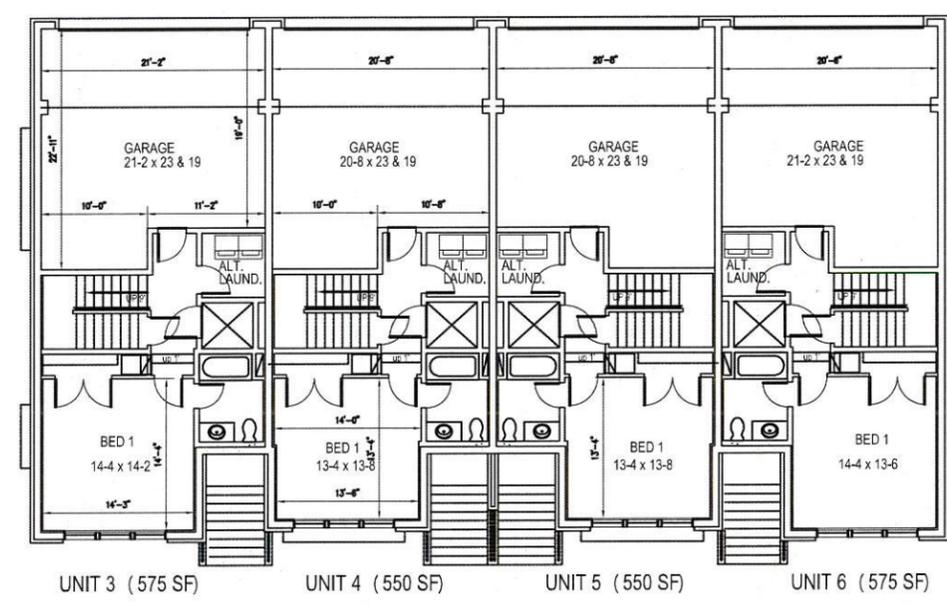
LEVEL 2



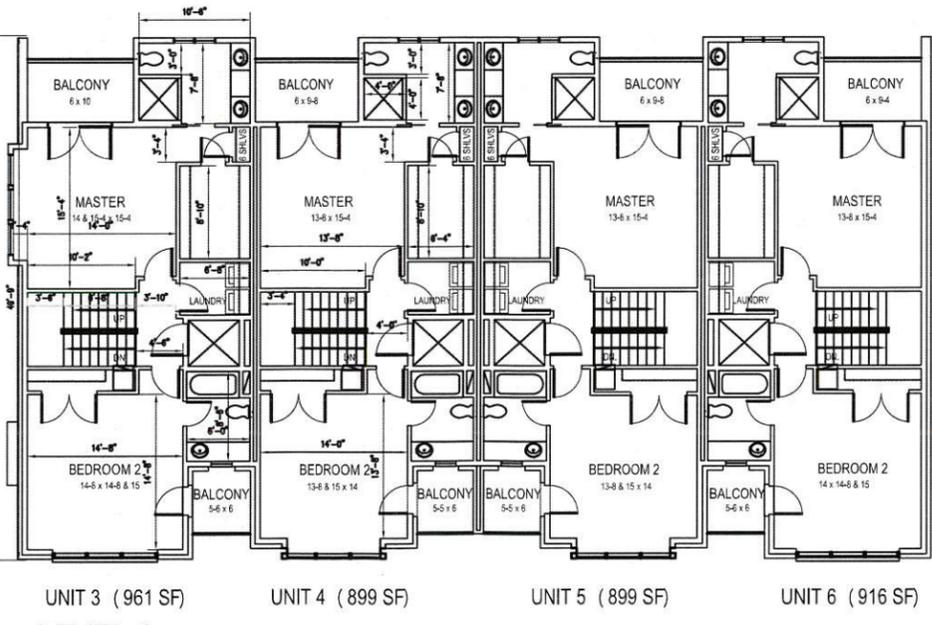
LEVEL 4 (ROOF)



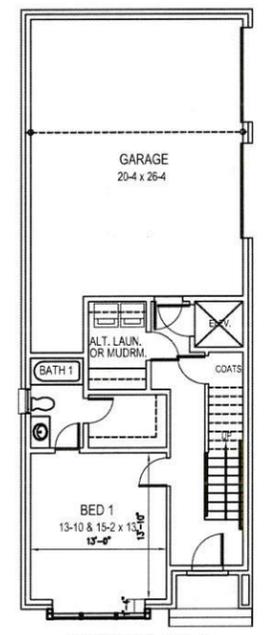
UNIT 1 & 2 943 SF  
LEVEL 3



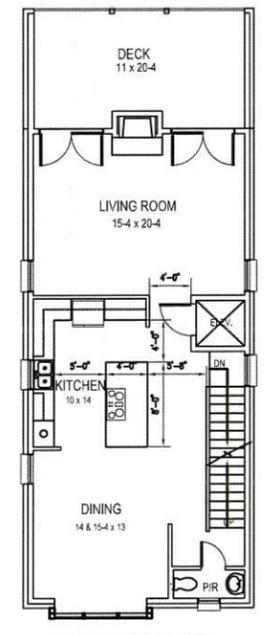
LEVEL 1 (BASEMENT)



LEVEL 3



UNIT 1 & 2 611 SF  
LEVEL 1



UNIT 1 & 2 1005 SF  
LEVEL 2

CONDO TYPE A: 3 BEDS; 3 FULL + 2 HALF BATHS (NOTE UNITS 7 TO 10 ARE MIRRORED)  
2589 TO 2744 SF HEATED + ELEVATOR

CONDO TYPE B: 3 BEDS; 3 FULL + 1 HALF BATHS  
2559 SF HEATED + ELEVATOR



**Planning Staff Report to  
Greenville Planning Commission  
October 13, 2016**  
*for the October 20, 2016 Public Hearing*

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**Docket Number:** AX 06-2016  
**Applicant:** Patrick L Frazier Jr  
**Property Owner:** Fire Baptized Holiness Church of God  
**Property Location:** 901 ANDERSON RD  
**Tax Map Number:** 010700-12-01600  
**Acreage:** 10.714 acres, not including road right-of-way  
**Zoning (County):** R 7.5, Residential and C-2, Commercial  
**Proposal:** ANNEXATION and REZONE to OD, Office and Institutional District, and include within the Green Avenue Neighborhood Revitalization Overlay

**Staff Recommendation:** Staff recommends approval of the 'OD' zoning designation and inclusion in the Green Avenue NRO, subject to the City Engineer's comments and approval of the annexation by the City Council

**Staff Analysis:**

The subject property is located on Anderson Road, at the western edge of the city and less than a mile from the central business district. The property is currently used for the administrative headquarters for the Fire Baptized Holiness Church of God of the Americas, for religious institutional activities including church conventions, and for the Fuller Normal School – as a mission of the church – currently offering early childhood education for 3 and 4 year olds.

The property was acquired by the FBH Church around 1950, and was always utilized in the same way but to a larger degree in the past. The school, which celebrated its 100<sup>th</sup> year in 2012, had obtained a public charter through the school district for operating Kindergarten through 8<sup>th</sup> grades with about 240 students, but recently transferred that charter to another school organization off-site.

The Applicant held a neighborhood meeting on October 6, 2016, and indicated that the intent is to beautify the site, renovate the older existing buildings, and expand the school to 5<sup>th</sup> grade with a new public charter. Church activities will continue on-site, and the spacious auditorium and gymnasium facilities will also be available to others for organized events.

The property is adjacent to the City's Green Avenue Neighborhood Revitalization Overlay District, and it would be appropriate to expand the overlay to include this property, given its history and role within the community.

Staff offers the following responses to the Rezoning Criteria found at Section 19-2.3.2 (E) (2), *Amendments to Zoning District Map*.

1. Consistent with the Comprehensive Plan: Staff concludes that the proposed zoning designation of 'OD' is most appropriate for the established use of the property, and is compatible with the "Urban Residential" Future Land Use designation shared by the closest City properties.
2. Changed conditions since the original designation: The process of annexation requires the properties to be assigned a City zoning designation.
3. Addresses a demonstrated community need: The annexation and rezoning will allow the properties to be maintained consistently with City ordinances, consistent with nearby development.
4. Compatible with surrounding uses: The 'OD' designation would permit the existing uses which are already established and are compatible with surrounding residential properties. 'OD' districts generally allow institutional services or employment and not commercial retail or service uses.
5. Promotes logical development pattern: The proposed zoning amendment reflects the existing development and is compatible with adjacent zoning designations on properties in the City.
6. Will not result in "strip" or ribbon commercial development: Due to the requirements of the City's nonresidential design standards, it is not anticipated that the proposed amendment will result in strip or ribbon commercial development in the future.
7. Will not create an isolated zoning district: Nearby properties in the city are zoned residential, but adjacent properties in the County are zoned commercial. The proposed designation will not create "spot" zoning; however, it does offer a less intense transition between residential and other nonresidential properties.
8. Surrounding property values: It is not expected that the proposed amendment will result in significant adverse impacts on the property values of surrounding lands.
9. Effect on natural environment: The site is already developed. There are no significant effects expected to the natural environment.
10. Public facilities and services: There are adequate public services available including water, sewer, fire, police, and emergency medical facilities.

**Applicable Sections of the City of Greenville Code of Ordinances:**

*Sec. 2-372 Function, Powers, and Duties of the Planning Commission*

*Sec 19-1.3 Purpose and Intent*

*Sec.19-2.1.2 (A) (2) (b) Zoning District Map Amendments (Rezoning)*

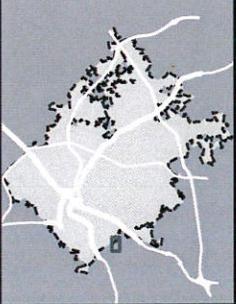
*Sec.19-2.3.2 (E) (2) Amendments to Zoning District Map*

*Sec.19-3.2 District Descriptions*

**City Engineer Comments**

Annexation should also include the SC Hwy. 81 (Anderson Road) right of way along the property frontage and the Norfolk Southern railroad right of way along the limits of the property frontage.

# 901 Anderson Rd - Aerial



City Limit Boundary



Parcels



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# 901 Anderson Rd - Future Land Use





city of  
**greenville**  
*South Carolina*

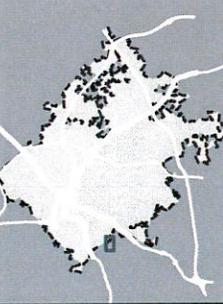
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	Transit Oriented Development		General Residential
	Mixed Use City Center		Urban Residential
	Parks, Open Space, and Schools		Mixed Use Neighborhood
	High Intensity Non-Residential		Mixed Use Community
			Mixed Use Regional

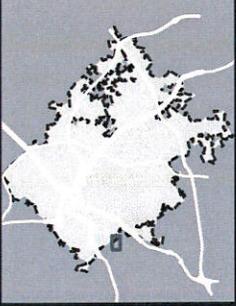
 City Limit Boundary

 Streets

 Parcels



# 901 Anderson Rd - Existing Zoning



City Limit Boundary

Streets

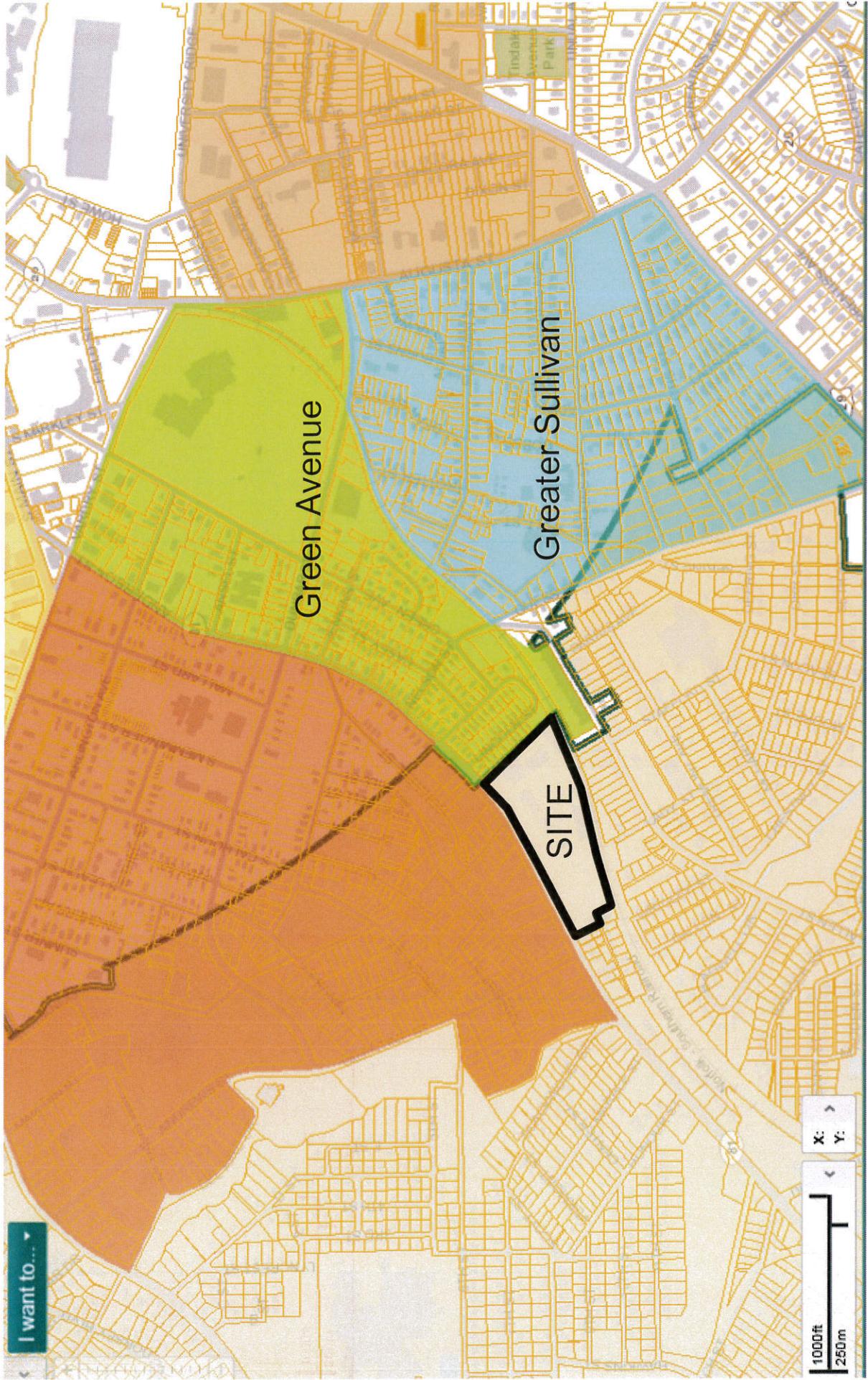
Parcels

C-1	C-2	C-3	C-4	C-IN	RM-1	RM-1.5	RM-2	RM-3	I-1	S-1	OD	PD	POD	OS-C	RDV

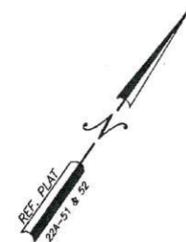
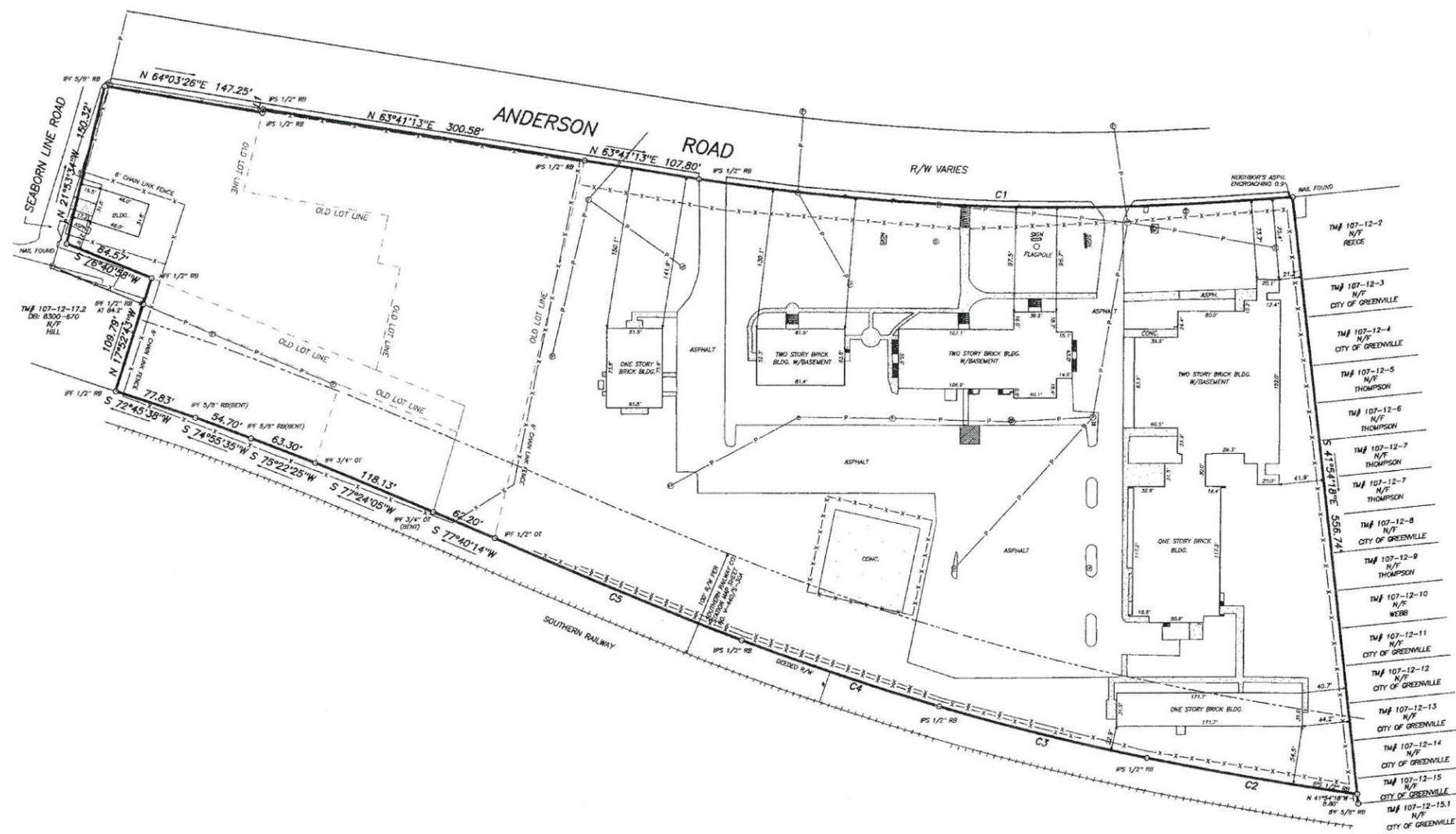
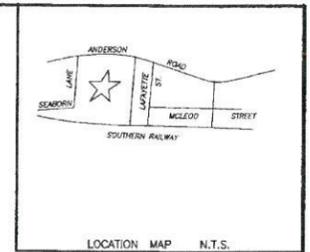


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# Neighborhood Revitalization Overlay Districts



2006078952 PLAT/LG  
 August 14, 2006 09:20:43 AM Book:PL 1016 Page:59-59  
 Rec:\$18.00 Enty Tax:\$0.00 State Tax:\$0.00  
 FILED IN GREENVILLE COUNTY, SC



FILED FOR RECORD IN GREENVILLE COUNTY, SC ROD  
 2006078952 Book:PL 1016 Page:59-59  
 August 14, 2006 09:20:43 AM  
*Timothy J. Manning*

10.714 ACRES



CURVE	RADIUS	LENGTH	CHORD	CH.BEARING
C1	2314.90'	549.85'	548.56'	N 56°10'42"E
C2	2637.04'	197.72'	197.67'	S 64°10'34"W
C3	2538.53'	199.49'	199.44'	S 68°26'45"W
C4	2625.30'	192.90'	192.86'	S 72°53'32"W
C5	5485.00'	246.86'	246.84'	S 76°57'13"W

COURSE BEARING DISTANCE  
 L1 N 22°14'00"W 3.51'

THIS PLAT IS NOT A SUBDIVISION AS DEFINED BY THE GREENVILLE COUNTY LAND DEVELOPMENT REGULATIONS  
 DATE 8/10/06  
*Patricia E. Everts*  
 AUTHORIZED REPRESENTATIVE OF GREENVILLE COUNTY PLANNING COMMISSION

I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN. ALSO THERE ARE NO ENCROACHMENTS, PROJECTIONS, OR SETBACKS AFFECTING THE PROPERTY OTHER THAN THOSE SHOWN.

NOTE: ACCORDING TO THE FEDERAL INSURANCE RATE MAP THE STRUCTURE LOCATED HEREON IS NOT LOCATED IN A FLOOD HAZARD AREA.

Reference Plat: 22A-51 & 52 Recordable plat  
 Reference Deed: 170-114, 1465-646, 650  
 Tax Map No. 107-12-16, 17, 17.4, 17.5, 18  
*Fredrick E. Landrith*  
 Fredrick E. Landrith No. 9545  
 Professional Land Surveyor

<p>LANDRITH SURVEYING, INC.        Land Surveys Topographic Maps Construction Layout        1112 DEAR LAKE ROAD GREENVILLE, SC        TELE: (864) 246-5856 FAX (864) 246-5857</p>		STATE OF SOUTH CAROLINA COUNTY OF GREENVILLE
		CLOSING SURVEY FOR FIRE BAPTIZED HOLINESS CHURCH OF GOD OF THE AMERICAS, INC.
<p>SURVEYED BY: RSL/FEL CHECKED BY:        DRAWN BY: FEL/TAS DATE: 07/17/06</p>	<p>SCALE 1" = 60'</p>	<p>PROJECT NO. 06-20976</p>



**Planning Staff Report to  
Greenville Planning Commission  
October 13, 2016**  
*for the October 20, 2016 Public Hearing*

---

**Docket Number:** Z 19-2016, Z 05-2015

**Applicant:** Lewis Plaza Partners LLC

**Property Owner:** LEWIS PLAZA PARTNERS LLC

**Property Location:** 21 ABERDEEN DR

**Tax Map Number:** 021600-01-01000

**Acreage:** 0.42

**Zoning:** C-2, Local Commercial District

**Property Owner:** LEWIS PLAZA PARTNERS LLC

**Property Location:** 1720 AUGUSTA ST

**Tax Map Number:** 021600-01-00110

**Acreage:** Total existing PD is 6.15

**Zoning:** PD, Planned Development District

**Proposal:** **Modify Lewis Plaza Planned Development**

**Staff Recommendation:** **Approval, subject to the applicant providing an amended Planned Development Agreement and department comments below**

**Staff Analysis:** The developer for Lewis Plaza had acquired an adjacent parcel of land and wished to incorporate it into the Lewis Plaza Planned Development. The property is currently the site of Woodward Medical Offices.

The developer will remove the existing 2-story office building and an adjacent one-story retail space in the approved PD and replace with a two-story office medical office building. This will reduce the total approved retail space in the PD from 27,455 square feet to 20,000 square feet. The amount of office space will be increased from 5,000 square feet to 15,000 square feet.

However, the approximately 15,000 square foot existing medical office building on the property being annexed into the PD will be removed and redeveloped as a surface parking lot. Taking the existing PD property and the proposed additional PD property into account, there will be a net reduction of 5000 square feet of office space and 7,455 square feet of retail space in the revised PD.

The building design uses similar materials, colors, and design as other buildings approved in the PD – 2 shades of brick, stone, and Hardi panel reveal system. The Design Review Board suggested the applicant evaluate the contrast in material colors, simplify the list of materials, and simplify the cornice shape.

The parking lot being developed on the corner of Aberdeen Drive and First Street will be landscaped, with a buffer provided adjacent to the outdoor space adjacent to Harris Teeter.

**City Engineer Comments**

**Recommend:** Approve

**Comments:** See comments below

**Traffic Engineer Comments**

**Recommend:** Approve w/ Conditions

**Comments:**

Ensure sight distance requirements are met according to the requirements of Section 19-5.2.6 of the Land Management Ordinance for the on-street parking proposed on Aberdeen Drive. If the sight distance requirements are not met, on-street parking cannot be allowed.

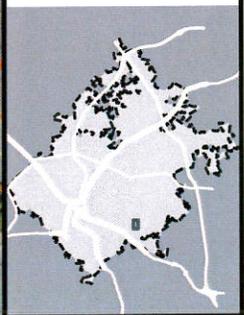
# 1720 Augusta St - Aerial



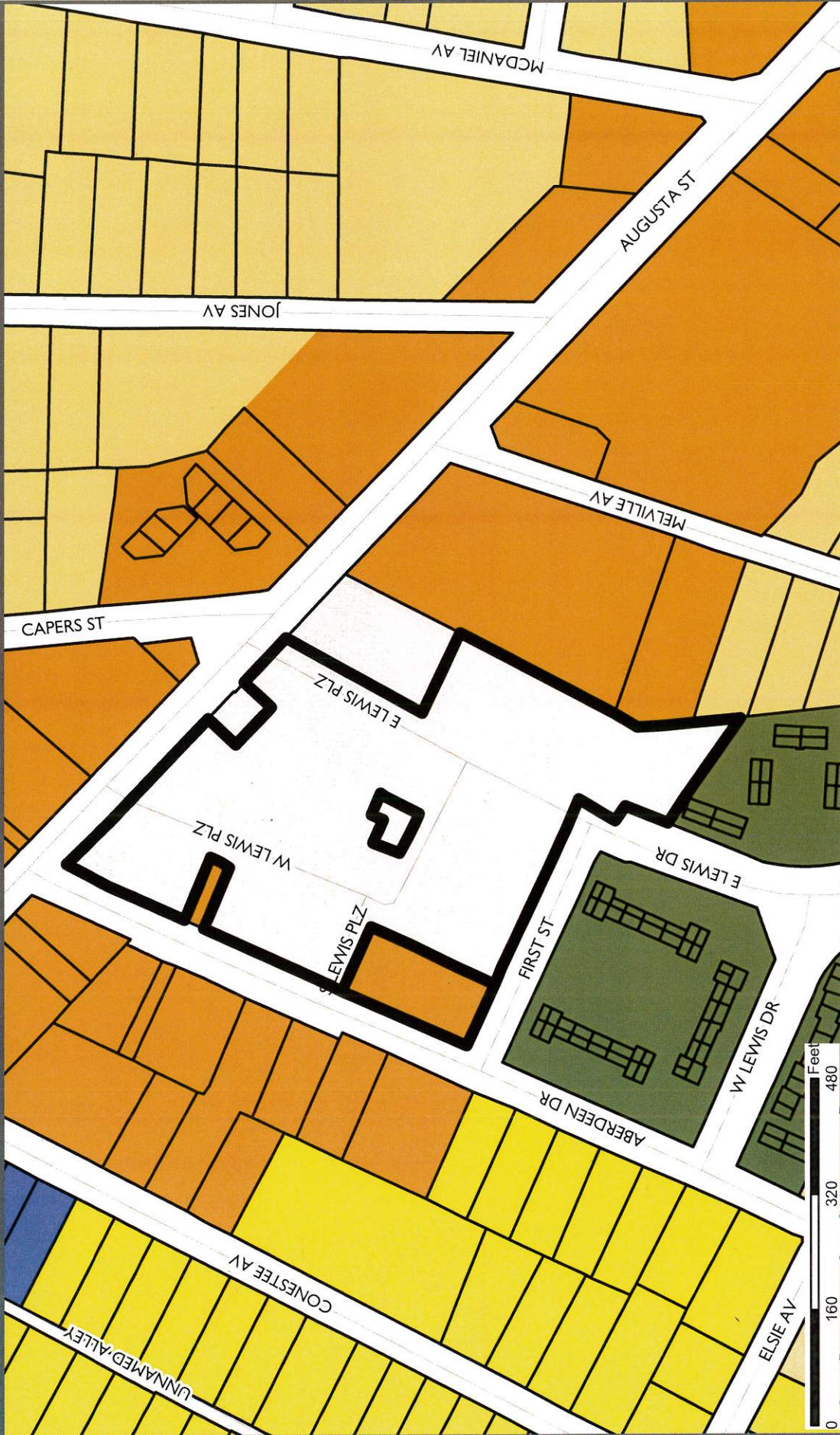
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City Limit Boundary

Parcels



# 1720 Augusta St - Existing Zoning





city of  
**greenville**  
*South Carolina*

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	City Limit Boundary		I-1		POD
	Streets		RM-3		OS-C
	Parcels		C-1		RDV
			C-2		OD
			C-3		PD
			C-4		
			RM-1		
			RM-1.5		
			RM-2		
			RM-6		
			R-7.5		
			R-9		
			C-IN		
			S-I		

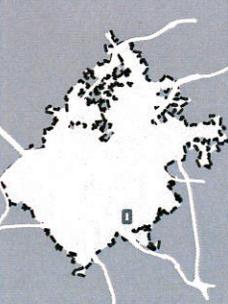
Feet

0

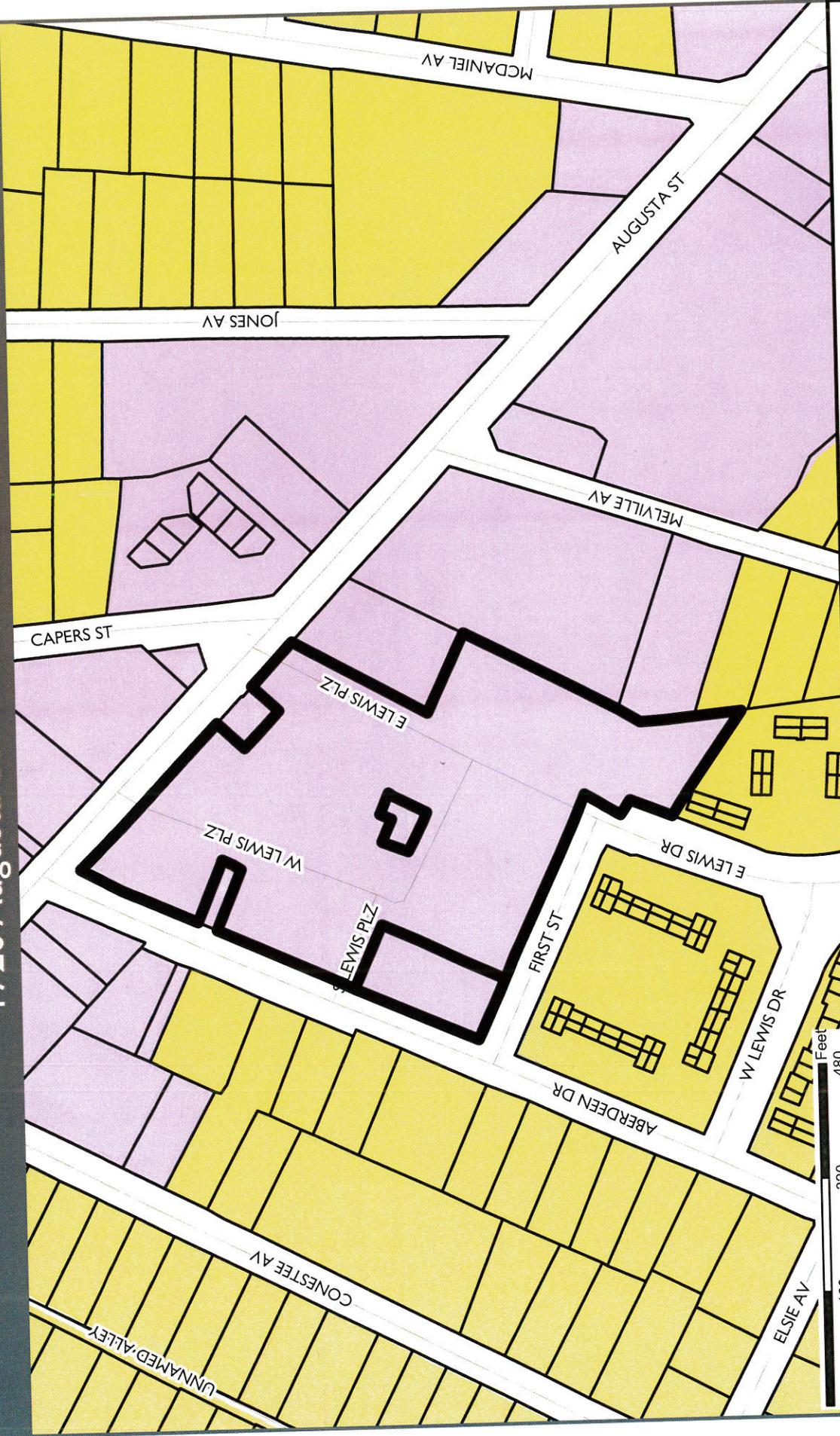
160

320

480



# 1720 Augusta St - Future Land Use



**City Limit Boundary**

**Streets**

**Parcels**

**General Residential**

**Urban Residential**

**Mixed Use Neighborhood**

**Mixed Use Community**

**Mixed Use Regional**

**Transit Oriented Development**

**Mixed Use City Center**

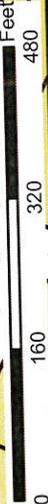
**Parks, Open Space, and Schools**

**High Intensity Non-Residential**

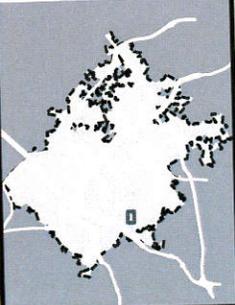


**City of Greenville**  
*South Carolina*

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0 160 320 480 Feet



Application #	2 19-2016	Fees Paid	350.00 \$
Date Received:	9-12-16	Accepted by	str
Date deemed complete		App	Deny Conditions



**APPLICATION FOR DESIGNATION  
AS A  
'PD', PLANNED DEVELOPMENT  
CITY OF GREENVILLE, SOUTH CAROLINA**

**APPLICANT/OWNER INFORMATION**

	APPLICANT	PROPERTY OWNER
NAME:	Lewis Plaza Partners, LLC	
ADDRESS:	1012 E. Washington St. Greenville, SC 29601	Same as Applicant
PHONE:	(864) 271-1900	
FAX:	(864) 233-0639	
EMAIL:	Paul@avteycommercial.com	

**PROPERTY INFORMATION**

STREET ADDRESS: 1720 Augusta St.

DEED BOOK/PAGE PB1200, Pg. 41 TAX PARCEL #: 0216000100110

CURRENT ZONING DESIGNATION PD ACREAGE 5.536

**SUPPORTING INFORMATION**

- 1. USES AND USE SPECIFIC STANDARDS** – THE APPLICANT MUST ENUMERATE ALL PROPOSED USES ON THE PD PLAN; ALL USES ARE SUBJECT TO **SECTION 19-4.3, USE-SPECIFIC STANDARDS**.
- 2. MINIMUM DIMENSIONAL REQUIREMENTS** – THE APPLICANT MUST SPECIFY APPLICABLE LOT AREA, LOT WIDTH, SETBACK, LOT COVERAGE, MAXIMUM HEIGHT, AND OTHER RELEVANT DIMENSIONAL CRITERIA UNIQUE TO THE PD; ALL USES ARE OTHERWISE SUBJECT TO **SECTION 19-5, DIMENSIONAL STANDARDS AND MEASUREMENTS**.
- 3. OFF-STREET PARKING** – THE APPLICANT MUST PROVIDE A COMPREHENSIVE PARKING AND LOADING PLAN; ALL USES ARE OTHERWISE SUBJECT TO **SECTION 19-6.1, OFF-STREET PARKING AND LOADING**.
- 4. LANDSCAPING, BUFFERING, AND SCREENING** – THE APPLICANT MUST PROVIDE A COMPREHENSIVE LANDSCAPING PLAN; IN LIEU THEREOF, THE REQUIREMENTS OF **SECTION 19-6.2, LANDSCAPING, BUFFERING, AND SCREENING**, SHALL APPLY.
- 5. SIGNS** – THE APPLICANT MUST PROVIDE A COMPREHENSIVE SIGN PLAN; IN LIEU THEREOF, THE REQUIREMENTS OF **SECTION 19-6.6, SIGNS**, SHALL APPLY.

**INSTRUCTIONS**

1. IF THE APPLICATION INCLUDES MORE THAN ONE (1) PARCEL AND MORE THAN ONE (1) OWNER, THE APPLICANT MUST PROVIDE THE APPROPRIATE DEED BOOK/PAGE REFERENCES, TAX PARCEL NUMBERS, AND OWNER SIGNATURES AS AN ATTACHMENT.
2. THE APPLICATION AND FEE, **MADE PAYABLE TO THE CITY OF GREENVILLE**, MUST BE RECEIVED BY THE PLANNING AND DEVELOPMENT OFFICE NO LATER THAN 5:00 PM OF THE DATE REFLECTED ON THE ATTACHED SCHEDULE.
3. THE APPLICANT/OWNER MUST RESPOND TO THE "STANDARDS" QUESTIONS ON PAGE 2 OF THIS APPLICATION (YOU MUST ANSWER "WHY" YOU BELIEVE THE APPLICATION MEETS THE TESTS FOR GRANTING A 'PD' DESIGNATION). SEE **ALSO SECTION 19-2.3.3, PLANNED DEVELOPMENT DISTRICT**, AND **SECTION 19-3.2(N), DISTRICT DESCRIPTIONS – PD: PLANNED DEVELOPMENT DISTRICT**, FOR ADDITIONAL INFORMATION. YOU MAY ATTACH A SEPARATE SHEET ADDRESSING THESE QUESTIONS.
4. IF YOU ARE SUBMITTING AN APPLICATION TO DESIGNATE A PORTION OF A PROPERTY AS 'PD' OTHERWISE DESCRIBED BY DEED, YOU MUST ATTACH A SURVEY OF THE PARCEL REFLECTING THE REQUESTED DESIGNATION(S) BY COURSES AND DISTANCES.
5. YOU MUST ATTACH THE REQUIRED APPLICATION FEE: \$700.00.
6. THE ADMINISTRATOR WILL REVIEW THE APPLICATION FOR "SUFFICIENCY" PURSUANT TO **SECTION 19-2.2.6, DETERMINATION OF SUFFICIENCY**, PRIOR TO PLACING THE APPLICATION ON THE PLANNING COMMISSION AGENDA. IF THE APPLICATION IS DETERMINED TO BE "INSUFFICIENT", THE ADMINISTRATOR WILL CONTACT THE APPLICANT TO REQUEST THAT THE APPLICANT RESOLVE THE DEFICIENCIES. **YOU ARE ENCOURAGED TO SCHEDULE AN APPLICATION CONFERENCE WITH A PLANNER, WHO WILL REVIEW YOUR APPLICATION FOR "SUFFICIENCY" AT THE TIME IT IS SUBMITTED. CALL (864) 467-4476 TO SCHEDULE AN APPOINTMENT.**
7. YOU MUST POST THE SUBJECT PROPERTY AT LEAST 15 DAYS (BUT NOT MORE THAN 18 DAYS) PRIOR TO THE SCHEDULED HEARING DATE.

3 SIGNS ARE ACKNOWLEDGED AS RECEIVED BY THE APPLICANT  
 N'hood mtg info ESH ESH

8. THE APPLICANT AND PROPERTY OWNER AFFIRM THAT ALL INFORMATION SUBMITTED WITH THIS APPLICATION; INCLUDING ANY/ALL SUPPLEMENTAL INFORMATION IS TRUE AND CORRECT TO THE BEST OF THEIR KNOWLEDGE AND THEY HAVE PROVIDED FULL DISCLOSURE OF THE RELEVANT FACTS.

IN ADDITION, THE APPLICANT AND PROPERTY OWNER AFFIRM THAT THE TRACT OR PARCEL OF LAND SUBJECT OF THIS APPLICATION IS, OR IS NOT, RESTRICTED BY ANY RECORDED COVENANT THAT IS CONTRARY TO, CONFLICTS WITH, OR PROHIBITS, THE REQUESTED ACTIVITY.

IF THE PLANNING OFFICE HAS ACTUAL NOTICE\* THAT A RESTRICTIVE COVENANT\* IS CONTRARY TO, CONFLICTS WITH, OR PROHIBITS THE REQUESTED ACTIVITY, THE OFFICE MUST NOT ISSUE THE PERMIT UNLESS THE OFFICE RECEIVES CONFIRMATION FROM THE APPLICANT THAT THE RESTRICTIVE COVENANT HAS BEEN RELEASED BY ACTION OF THE APPROPRIATE AUTHORITY, PROPERTY HOLDERS, OR BY COURT ORDER.

TO THAT END, THE APPLICANT HEREBY AFFIRMS THAT THE TRACT OR PARCEL OF LAND SUBJECT OF THE ATTACHED APPLICATION IS \_\_\_\_\_ OR IS NOT  RESTRICTED BY ANY RECORDED COVENANT THAT IS CONTRARY TO, CONFLICTS WITH, OR PROHIBITS THE REQUESTED ACTIVITY.

LEWIS PLAZA PARTNERS, LLC ESH APPLICANT  
Sept. 12, 2016 DATE  
SAME AS APPLICANT PROPERTY OWNER  
Sept. 12, 2016 DATE

**APPLICANT RESPONSE TO  
SECTION 19-3.2(N) GENERAL DEVELOPMENT PARAMETERS**

1. DESCRIBE THE WAYS IN WHICH THE PROPOSED PLANNED DEVELOPMENT PROVIDES A MIX OF USES.

The intent of the rezoning of the current Planned Development is to further integrate the mixed-use commercial development product by increasing the office component and decreasing the retail component. The requested change will modify the current office square footage from 5,000sf to 15,000sf and reduce the current retail from 27,455sf to 20,000sf. The new final calculations will include: 60,000 SF anchor grocery store, 15,000 SF office, 20,000 SF retail, 2,900 SF bank, and 5,050 SF retail totaling 102,950 SF.

2. DESCRIBE THE WAYS IN WHICH THE PROPOSED PLANNED DEVELOPMENT UTILIZES CLUSTER OR TRADITIONAL NEIGHBORHOOD DEVELOPMENT PRINCIPLES TO THE GREATEST EXTENT POSSIBLE THAT IS INTERRELATED AND LINKED BY PEDESTRIAN WAYS, BIKE WAYS, AND TRANSPORTATION SYSTEMS.

All pedestrian walkways, crosswalks, outdoor community plaza, outdoor patio, landscaping, streetscape improvements, pocket park space and extended sidewalks are currently under construction. With the rezoning request, we will be adding two crosswalks to further help pedestrian and bike access to the Lewis Plaza Shopping Center.

3. DESCRIBE THE WAYS IN WHICH THE PROPOSED PLANNED DEVELOPMENT RESULTS IN LAND USE PATTERNS THAT PROMOTE AND EXPAND OPPORTUNITIES FOR PUBLIC TRANSPORTATION AND AN EFFICIENT AND COMPACT NETWORK OF STREETS, ETC.

One key element to note with this modification is the reduced vehicular traffic this will have on the adjacent neighborhoods. The overall commercial uses in the immediate area will be reduced, and because of changing uses to the square footages in the center from retail to office the street traffic from the shopping center will be less.

4. DESCRIBE THE WAYS IN WHICH THE PROPOSED PLANNED DEVELOPMENT WILL BE COMPATIBLE WITH THE CHARACTER OF SURROUNDING LAND USES AND MAINTAIN AND ENHANCE THE VALUE OF SURROUNDING PROPERTIES.

The rezoning will allow the development to further integrate the past and present to a more efficient and mixed-use development for the surrounding communities. The architectural styles will enhance the past's uniqueness while adapting the modern transparency to the center. The ongoing redevelopment compliments the adjacent multi-family, single family, and businesses and these modifications will continue that success.

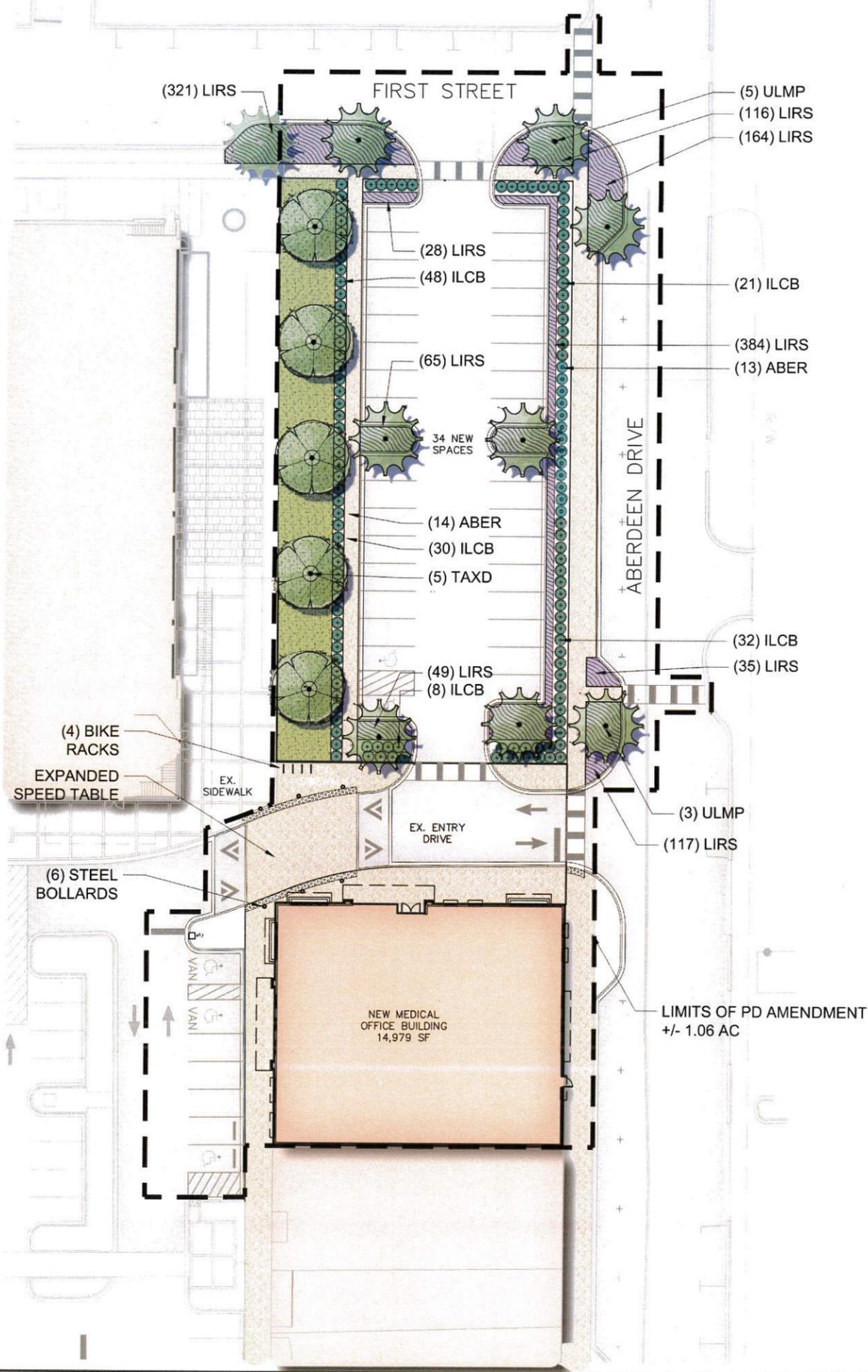


GREENBRIER COTTAGE



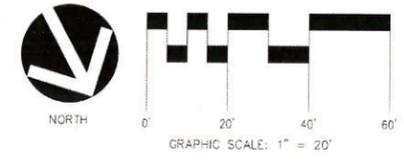
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**PARKING TABLE:**

CITY OF GREENVILLE MINIMUM SPACES REQUIRED: (1 SPACE PER 600 SF)	25 SPACES
MAXIMUM SPACES ALLOWED: (1 SPACE PER 150 SF)	99 SPACES
<b>TOTAL PARKING PROVIDED:</b>	<b>40 TOTAL SPACES</b> 34 ON-SITE / 6 ON-STREET
<b>TOTAL BICYCLE PARKING REQUIRED = 4 SPACES</b> (10% OF FIRST 100 SPACES + 1% OF REMAINING SPACES)	
<b>TOTAL BICYCLE PARKING PROVIDED = 4 SPACES</b>	



**PLANT SCHEDULE**

TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	SIZE	SPREAD	REMARKS
	TAXD	5	Taxodium distichum / Bald Cypress	B & B	3" Cal	AS SHOWN	FWF, SP, CON OR B&B. CLEAR TRUNK TO 5'
	ULMA-4	8	Ulmus parvifolia "Allee" / Allee Lacebark Elm	B & B	4" Cal	AS SHOWN	FWF, SP
SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	HEIGHT	SPACING	REMARKS
	ABER	13	Abelia x "Rose Creek" / Rose Creek Abelia	3 gal.			FWF, CON, SP
	ILCB	114	Ilex cornuta "Burfordii Nana" / Dwarf Burford Holly	3 gal.			FWF, SP, CON
GROUND COVERS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT		SPACING	REMARKS
	LIRS	1,279	Liriope spicata / Creeping Lily Turf	4" pot		18" o.c.	FWF, CON, SP
SOD/SEED	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT		SPACING	REMARKS
	SOD2	3,320 sf	Cynodon dactylon / Bermuda Grass	sod			

**SW SEAMONWHITESIDE**

508 Rhett St., Suite 101  
Greenville, SC 29601  
843.884.1667 (F) 843.884.8944  
864.296.0534 (T) 864.296.0533

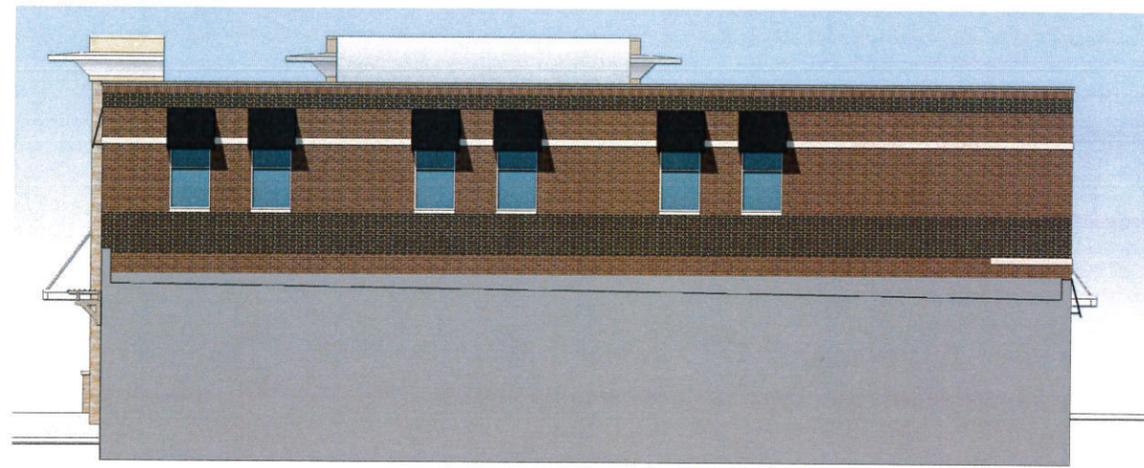
**WOODWARD MEDICAL OFFICES  
FOR  
LEWIS PLAZA PARTNERS, LLC**  
GREENVILLE, SOUTH CAROLINA

DRAWN BY: DM  
CHECKED BY: CW  
PROJECT: GR2506  
DATE: 09-08-2016

NO.	DATE	REVISION NOTES

PD EXHIBIT

9/12/16



NORTH ELEVATION (AUGUSTA VIEW)



WEST ELEVATION (ABERDEEN VIEW)



SOUTH ELEVATION (ACCESS DRIVE VIEW)



EAST ELEVATION (PLAZA VIEW)

# PROPOSED OFFICE BUILDING LEWIS PLAZA SHOPPING CENTER

GREENVILLE, SOUTH CAROLINA

**NARRAMORE ASSOCIATES, INC.**  
Architects & Planners  
AMERICAN INSTITUTE OF ARCHITECTS  
P.O. Box 8458, Greenville, SC 29604 Phone: 864.242.9881  
370 Mills Ave., Suite 203, Greenville, SC 29605 Fax: 864.232.8202  
email: plaza@narramore-architects.com

**AVTEX**  
COMMERCIAL PROPERTIES, INC.

9/12/10



**NARRAMORE ASSOCIATES, INC.**  
Architects & Planners

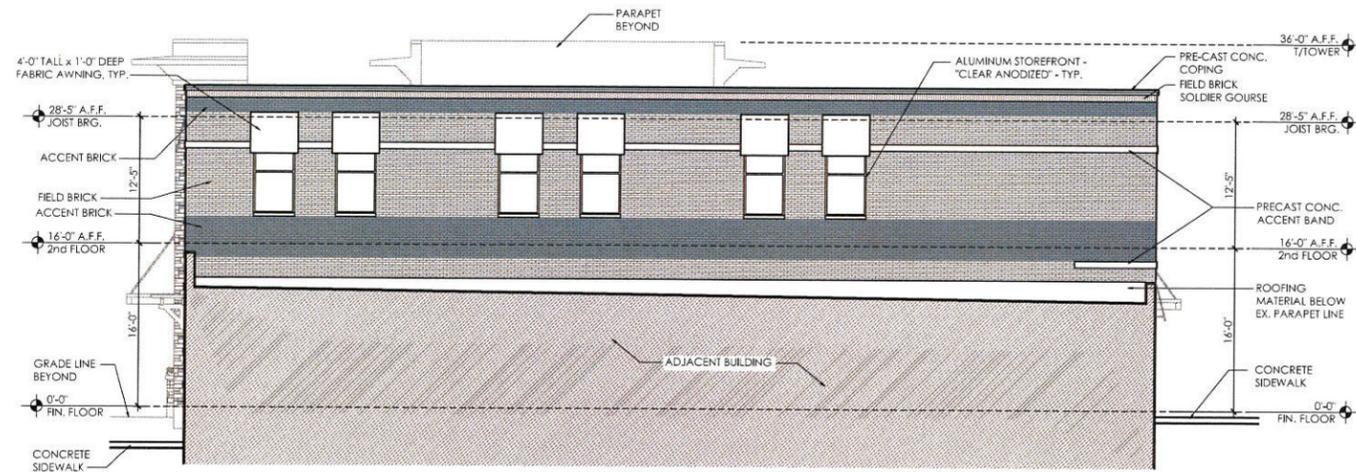
AMERICAN INSTITUTE OF ARCHITECTS

P.O. Box 8438 Greenville, SC 29604  
310 Mills Ave. Greenville, SC 29605

Phone: 864.242.9881  
Fax: 864.232.5202

plans@narramore-architects.com

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4 NORTH ELEVATION (AUGUSTA VIEW)  
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION (ABERDEEN VIEW)  
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION (ACCESS DRIVE VIEW)  
SCALE: 1/8" = 1'-0"



1 EAST ELEVATION (PLAZA VIEW)  
SCALE: 1/8" = 1'-0"

SEAL



15 WASHINGTON PARK  
GREENVILLE, SC 29601  
864.271.1900

PROPOSED OFFICE BUILDING

LEWIS PLAZA SHOPPING CENTER  
AUGUSTA STREET  
GREENVILLE, SC 29605

REVISIONS

DOCUMENT DATA

PROJECT NUMBER

16959

ISSUE DATE

xx-xx-16

LEWIS PLAZA  
GREENVILLE, SC

**A2.0**

EXTERIOR  
ELEVATIONS

9/22/16



**NARRAMORE ASSOCIATES, INC.**  
Architects & Planners

AMERICAN INSTITUTE OF ARCHITECTS

P.O. Box 8438 Greenville, SC 29604  
310 Mills Ave. Greenville, SC 29605

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plans@narramore-architects.com

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SEAL



15 WASHINGTON PARK  
GREENVILLE, SC 29601  
864.271.1900

**PROPOSED OFFICE BUILDING**

LEWIS PLAZA SHOPPING CENTER  
AUGUSTA STREET  
GREENVILLE, SC 29605

REVISIONS

DOCUMENT DATA

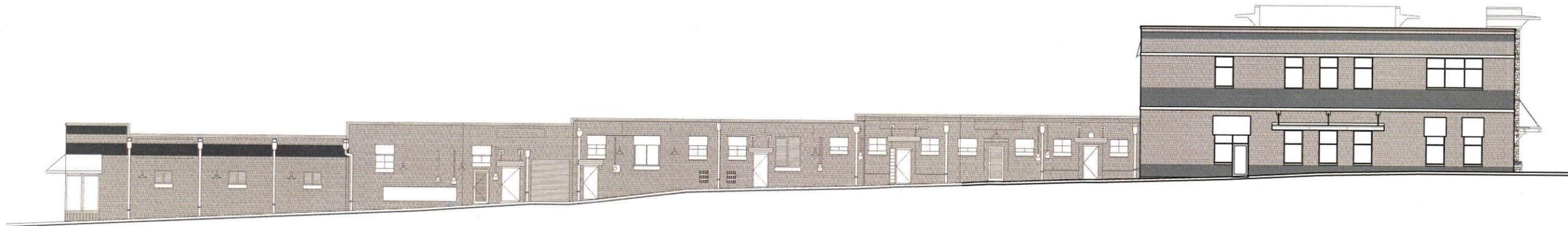
PROJECT NUMBER  
16959  
ISSUE DATE  
xx-xx-16

LEWIS PLAZA  
GREENVILLE, SC

**A2.1**

EXTERIOR  
ELEVATIONS

9/12/16

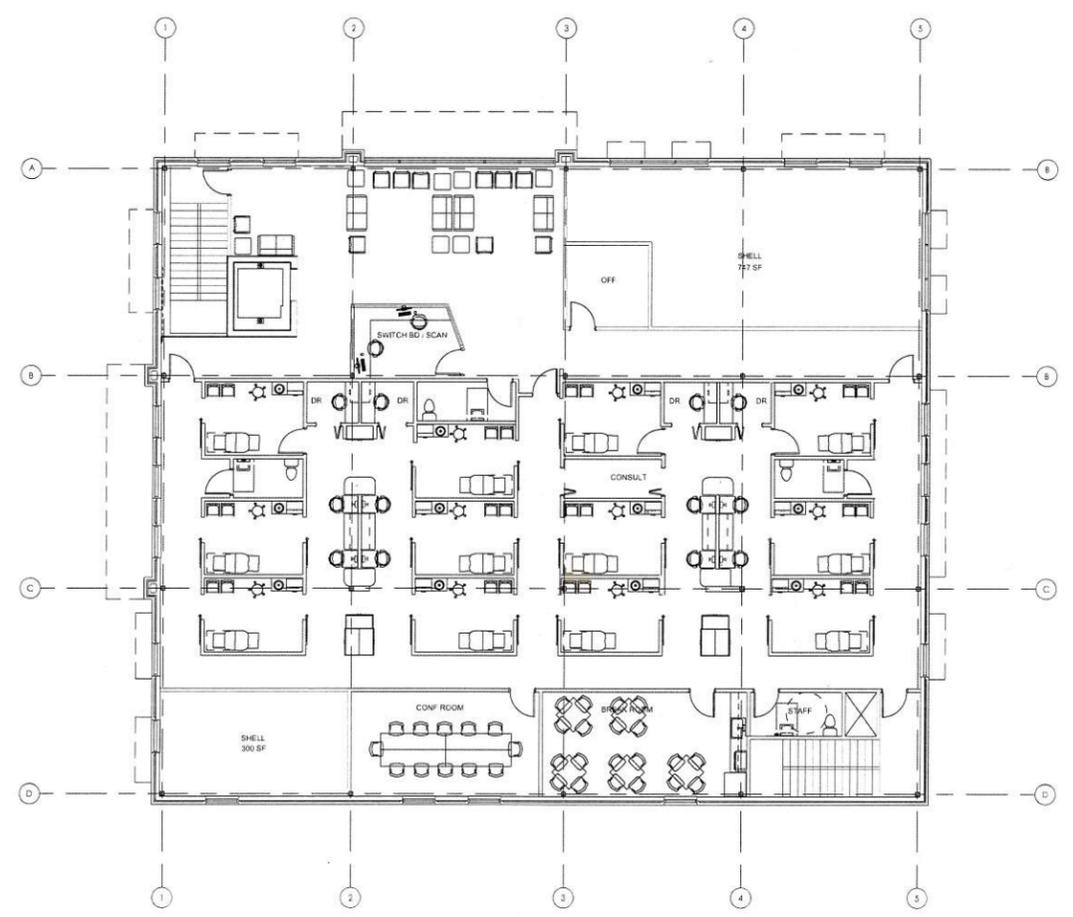


2 WEST ELEVATION (ABERDEEN VIEW)  
SCALE: 3/32" = 1'-0"

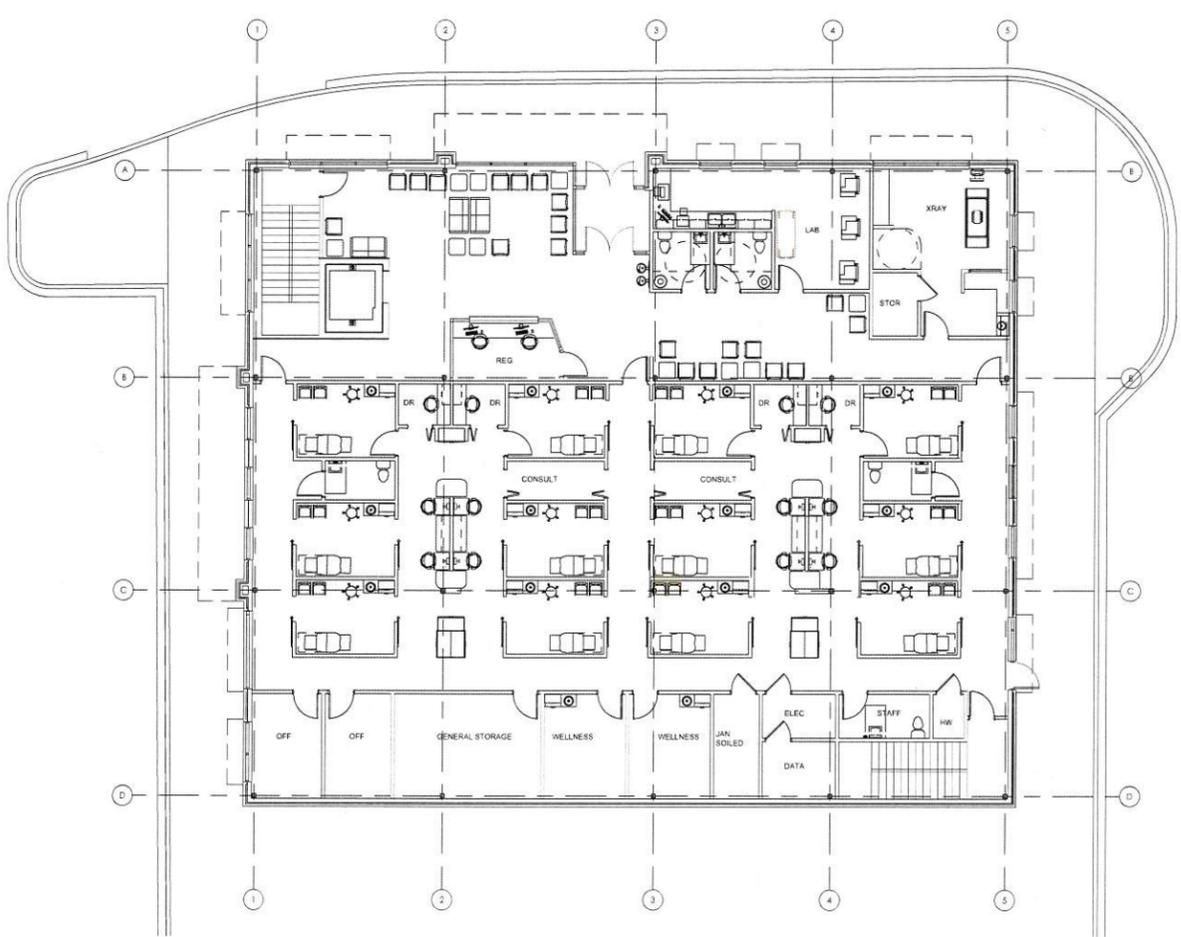


1 EAST ELEVATION (PLAZA VIEW)  
SCALE: 3/32" = 1'-0"

ALL DIMENSIONS SHOWN ON THIS DRAWING ARE UNLESS OTHERWISE SPECIFIED. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.



2 Level 2 - Upfit  
1/8" = 1'-0"



1 Level 1 - W UPFIT  
1/8" = 1'-0"

BON SECOURS MEDICAL GROUP  
**WOODWARD MEDICAL CENTER UPFIT**  
 GREENVILLE SOUTH CAROLINA

SHEET ISSUE  
 NO. DATE DESCRIPTION BY  
 NOT FOR CONSTRUCTION

PRINCIPAL IN CHARGE  
 PROJECT ARCHITECT  
 DRAWN BY  
 APPROVER  
 CHECKER  
 AUTHOR  
 SHEET TITLE  
**PROPOSED FLOOR PLANS**

SHEET NO. **A101**  
 PROJ. NO.

9/22/16



**Planning Staff Report to  
Greenville Planning Commission  
October 13, 2016**  
*for the October 20, 2016 Public Hearing*

---

**Docket Number:** Z 20-2016  
**Applicant:** Westone Development LLC  
**Property Owner:** FINK RHONDA A  
**Property Location:** W STONE AV  
**Tax Map Number:** 000900-04-01500  
**Acreage:** 0.175  
**Zoning:** OD, Office & Institutional District  
**Property Owner:** FINK RHONDA A  
**Property Location:** 103 W STONE AV  
**Tax Map Number:** 000900-04-01600  
**Acreage:** 0.164  
**Zoning:** OD, Office & Institutional District  
**Property Owner:** TLNM PROPERTIES LLC  
**Property Location:** 105 W STONE AV  
**Tax Map Number:** 000900-04-01700  
**Acreage:** 0.158  
**Zoning:** OD, Office & Institutional District  
**Property Owner:** BECO PROPERTIES LLC  
**Property Location:** 109 W STONE AV  
**Tax Map Number:** 000900-04-01900  
**Acreage:** 1.1  
**Zoning:** OD, Office & Institutional District  
**Proposal:** **REZONE four parcels from OD to C-2**  
**Staff Recommendation:** **Approve**

**Staff Analysis:** The applicant proposes to rezone four parcels fronting West Stone Avenue, located to the southwest corner of the intersection of Stone Avenue and Townes Street. With the recent rezoning of the Thomas McAfee properties to the east to C-2, this proposal will create a contiguous zoning classification along the south side of this portion of West Stone Avenue.

Staff offers the following responses to the Rezoning Criteria found at Section 19-2.3.2(E)(2), *Amendments to Zoning District Map*.

1. Consistent with the Comprehensive Plan: Staff concludes that the proposed zoning designation of 'C-2' is consistent with the "Mixed Use Neighborhood" Future Land Use designation that extends along most of West Stone Avenue. Further, the 2011 Stone Avenue Master Plan, suggests the City should consider modifying the 'OD' zoning classification on West Stone to allow for neighborhood commercial uses such as small retail establishments and restaurants.
2. Changed conditions since the original designation: Since the property was originally zoned 'OD' the Stone Avenue Master Plan was completed.
3. Addresses a demonstrated community need: The 'C-2' designation appears to be logical given the development pattern in the area.
4. Compatible with surrounding uses: The 'C-2' designation is compatible with the zoning of adjacent parcels owned by the Applicant.
5. Promotes logical development pattern: The proposed zoning amendment will be provide for uses that are consistent with the development pattern of the area and the Stone Avenue Master Plan.
6. Will not result in "strip" or ribbon commercial development: It is not anticipated that the proposed amendment will result in strip or ribbon commercial development since there are nonresidential design standards in place.
7. Will not create an isolated zoning district: The proposed designation will not create "spot" zoning; the 'C-2' designation is prevalent among adjoining properties along East Stone Avenue and North Main Street.
8. Surrounding property values: It is not readily apparent that the proposed amendment will result in significant adverse impacts on the property values of surrounding lands.
9. Effect on natural environment: None that are apparent.
10. Public facilities and services: There are adequate public facilities to serve the development.

Specific information on where access will be allowed, parking allowed, and required buffers, will be addressed by staff during site plan and building plan review.

---

**Applicable Sections of the City of Greenville Code of Ordinances:**

*Sec. 2-372 Function, Powers, and Duties of the Planning Commission*

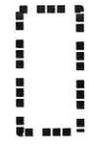
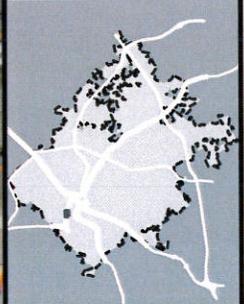
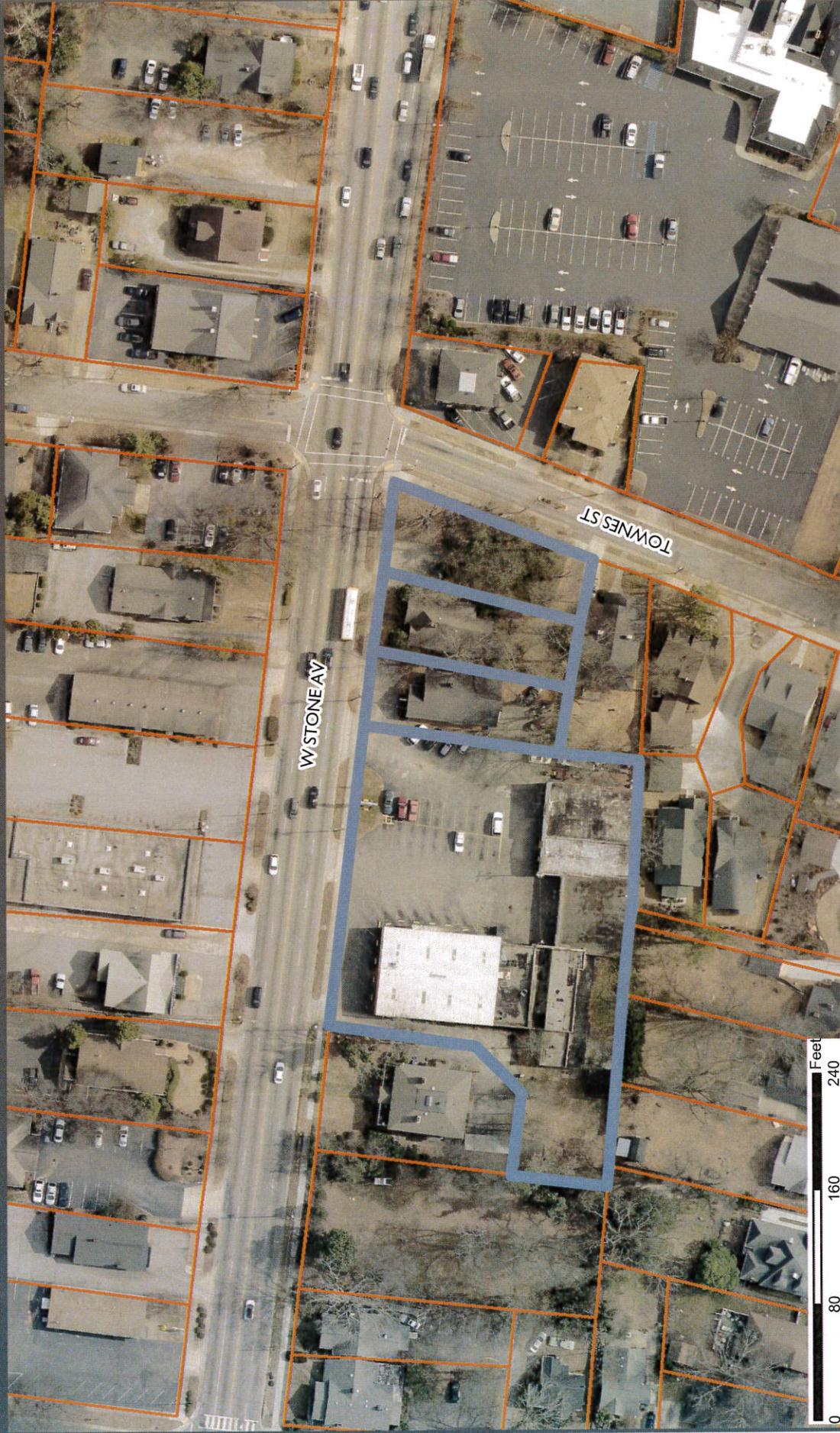
*Sec 19-1.3 Purpose and Intent*

*Sec.19-2.1.2 (A) (2) (b) Zoning District Map Amendments (Rezoning)*

*Sec.19-2.3.2 (E) (2) Amendments to Zoning District Map*

*Sec.19-3.2 District Descriptions*

# 103,105,107,109 W Stone Av-Aerial



City Limit Boundary



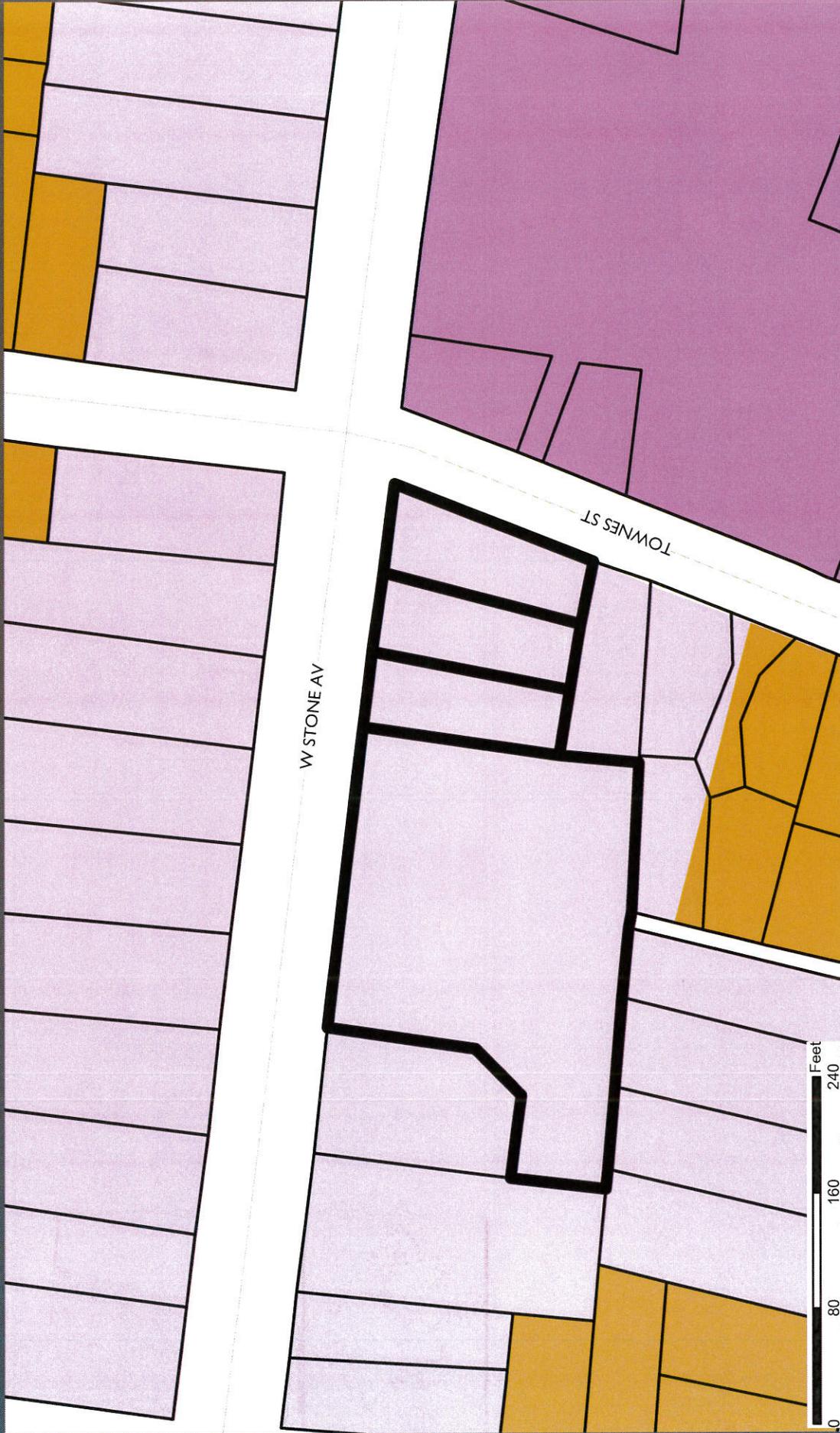
Parcels



This map is a product of the City of Greenville, SC. Reasonable efforts have been made to ensure the accuracy of this map. The City of Greenville expressly disclaims any responsibility or liability with regard to the use of this map. Copyright: The City of Greenville, SC



# 103, 105, 107, 109 W Stone Av-Future Land Use



**City Limit Boundary**

**Streets**

**Parcels**

**General Residential**

**Urban Residential**

**Mixed Use Neighborhood**

**Mixed Use Community**

**Mixed Use Regional**

**Transit Oriented Development**

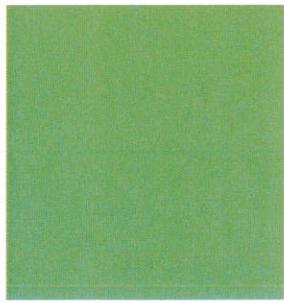
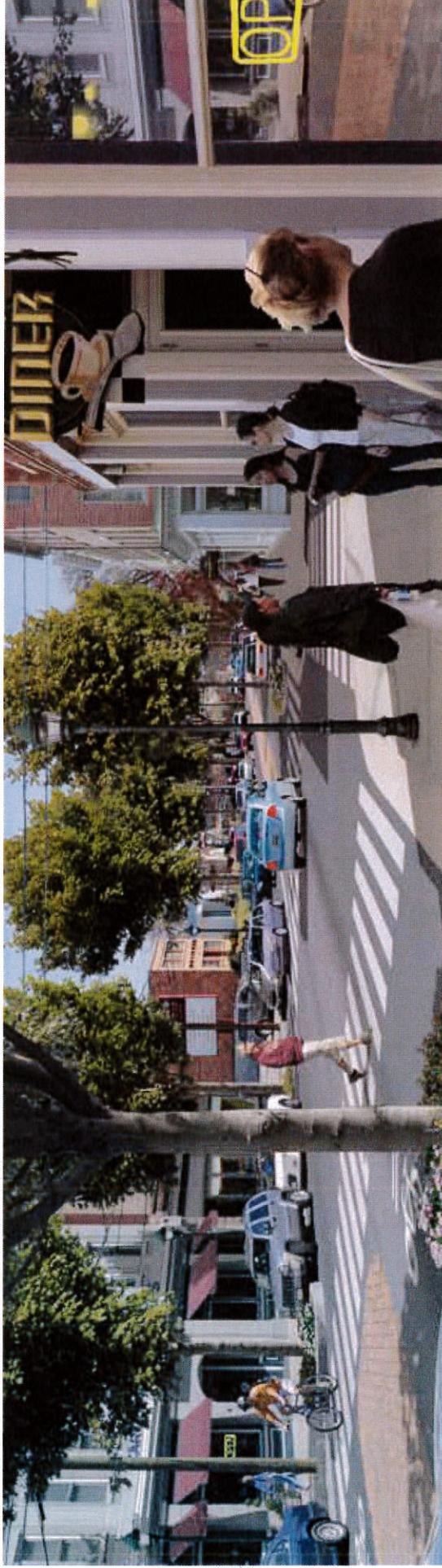
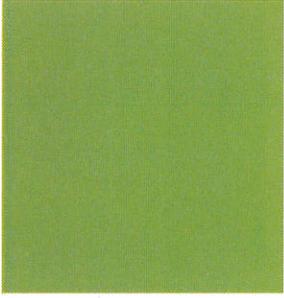
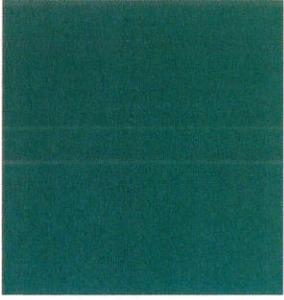
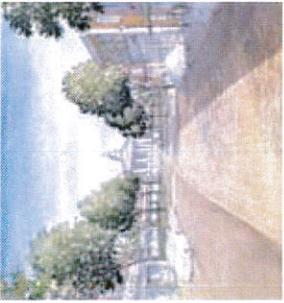
**Mixed Use City Center**

**Parks, Open Space, and Schools**

**High Intensity Non-Residential**

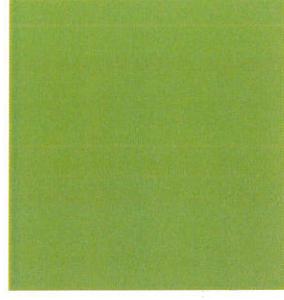
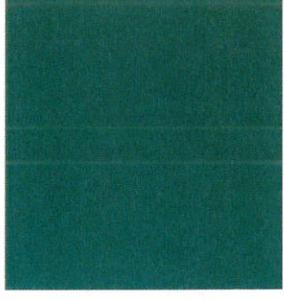
**City of Greenville**  
*South Carolina*

This map is a product of the City of Greenville, SC. Reasonable efforts have been made to ensure the accuracy of this map. The City of Greenville expressly disclaims any responsibility or liability with regard to the use of this map. Copyright: The City of Greenville, SC.



# plan stone avenue

Greenville, South Carolina



# plan stone avenue

was created by:

**Mayor** Knox White

**City Council**

Amy Ryberg Doyle, District 1  
Lillian Brock Fleming, Vice Mayor Pro Tem, District 2  
Jil Littlejohn, District 3  
David Sudduth, Mayor Pro Tem, District 4  
Susan Reynolds, At-Large Representative  
Gaye G. Sprague, At-Large Representative

**City Manager**

John Castile

**Planning Commission**

Mercedes Bartow  
Keith Dreher  
Mills Gallivan  
Brody Glenn  
Matt Johnson  
Tripp Muldrow  
Gordon B. Sherard Jr.

**Department of Economic Development,**

**Planning and Development Division**

Nancy Whitworth, Director of Economic Development  
Jean Pool, Planning and Development Manager  
Jennifer Rigby, Development Planner

**Dover, Kohl & Partners**

*town planning*  
Victor Dover  
Megan McLaughlin  
James Dougherty  
Amy Groves  
Chris Podstawski  
Andrew Georgiadis  
Elma Felix  
Melissa Harrison

**Hall Planning & Engineering**

*transportation planning*  
Rick Hall  
Tracy Hegler

**Pratt-Thomas Walker**

*land use law advisors*  
Andy Gowder

**UrbanAdvantage**

*computer visualizations*  
Steve Price

**The Street Plans Collaborative**

*website design*  
Anthony Garcia

**Urban Advisors**

*economic analysis*  
Ed Starkie

...and hundreds of Greenville residents



city of  
**greenville**



analyze

subject properties



Project Boundary

EXISTING CONDITIONS – Above is a site plan of the study area showing North Main Street and Stone Avenue. While the surrounding neighborhoods have significant tree canopy, Stone Avenue is characterized by parking lots and paved surfaces with few street trees.



## plan stone avenue

subject properties

### The North End

The Plan for Stone Avenue establishes a framework for coordinated infill, redevelopment, and change over time to guide the transformation of this suburban-style, pass-through corridor into a walkable destination that better meets the needs of property owners, residents of surrounding neighborhoods, and the greater Greenville community. In this chapter, the vision for the future (as established through the Charrette process) is illustrated and described in detail. The illustrations convey key planning and design concepts that can be applied throughout the study area; implementation of these ideas will impact both the physical design and function of the corridor. Key design concepts are described in more detail in the following pages.

### North End Opportunities

- A** Reconfiguring the street design of Stone Avenue – from four lanes to three lanes – enhances walkability by slowing through traffic and allowing for street trees and on-street parking.
- B** Street-oriented infill buildings on vacant or redeveloped parcels are provided to create a continuous street frontage.
- C** Parking is located on-street, and to the rear of buildings; parking lots are designed to be interconnected to allow for rear circulation.
- D** Where feasible, new vehicular and pedestrian streets are created to improve street network connectivity.





# plan



**E** New open spaces are created at key locations, such as at the re-aligned intersection of Stone Avenue and Wade Hampton Boulevard and the site of the historic wading pools.

**F** The addition of street trees helps to create desirable addresses and enhance the pedestrian environment.

**G** The vacant parcels at the intersection of Stone & Main receive a variety of new uses, and serve as a center for surrounding neighborhood residents.

**H** The vacant Triangle site and surrounding parcels are redeveloped to serve as a gateway, with uses such as a grocery store, ground-floor retail with offices and apartments above, and townhouses.

**I** Underutilized parcels surrounding Richland Cemetery are redeveloped to provide a public frontage and better visibility to the grounds.

**J** A gas station is reconfigured to have a multi-story retail shop and office space that fronts the street, with the gas pumps located mid-block.

**K** Historic resources, such as the Richland Cemetery grounds, the Allen School, and the old Armory, are preserved and made more accessible to the public for educational and cultural enrichment.

**L** The Bi-Lo is redeveloped as a series of mixed-use, street-oriented, multi-story buildings with structured parking located at the center of the block.

**M** Access to McPherson Park is improved with greater visibility and gateways.

**N** Existing bus stops are enhanced to improve the transit experience.



## plan stone avenue

### **Sight Triangles**

The Zoning Ordinance mandates sight triangles on roadways. This requirement may limit the planting of street trees or on-street parking at certain intersections, which could prevent the attainment of a sense of spatial enclosure. Street trees should be permitted within the sight triangle as long as it is “limbed up” so that tree branches do not obstruct drivers’ view. On-street parking should be permitted within the sight triangle, as it is permitted in the SCDOT Access & Roadside Management Standards (ARMS) Manual.

### **New Development and Infrastructure Requirements**

The Code requires road improvements if a development causes the roadway Level of Service (LOS) to descend below “D.” Reliance upon LOS as an indicator of the performance of the street could imbalance the street design towards driving at the expense of other modes of travel. It could also thwart redevelopment by developers who are not financially able to fund roadway widening and intersection improvements. Also, LOS standards imply that capacity improvements will be accomplished by increasing roadway capacity rather than by modal shifts (for instance, activating rail or other modes). The City should consider alternative methods of measuring transportation capacity such as level of walkability and bikability and transit opportunities. For more information on measuring multi-modal capacity and creating new standards for multi-modal infrastructure improvement, see page 40 of the CNU/ITE design manual, Designing Walkable Urban Thoroughfares.

### **Zoning Values Map**

The city should consider adjusting the existing zoning districts along Stone Avenue to better meet the vision outlined in the 2009 Comprehensive Plan and the Stone Avenue Plan. Zoning Districts that allow for more pedestrian-oriented form should be examined. In addition,

the City should consider adjusting the OD designation for West Stone Avenue to allow for neighborhood commercial uses, such as small retail establishments and restaurants or cafes.

### **Introduce Urban Context to the Non-Residential and Multi-family Design Standards**

The City recently adopted a set of Non-residential design standards and Multi-family design standards as a way to provide more certainty for development beyond the requirements outlined in the zoning district requirements of the Zoning Ordinance. These design standards have been successful overall in providing greater predictability for applicants, residents, and the City in the development review process; however the standards are applied throughout the City with insufficient reference to urban context. As a result, some standards may be useful for a suburban corridor context, but are inappropriate for an in-town location such as Stone Avenue. The standards should be refined to include setbacks, massing, parking, access, and site plan requirements that are more appropriate for varying urban contexts throughout the City. Another challenge faced by users of the existing design standards is the subjectivity of reviewing “appropriate massing and building character” for new development based on the existing urban context. All too often, the existing urban context can be undesirable or an insufficient guide for new development. A more effective method for ensuring the desired character would be to identify the desired urban pattern for future development, rather than relying solely on existing context. The desired urban pattern should be determined through public input, and should be based on best practices that are appropriate to the climate, culture, and the community’s vision for the area. Definitive standards should be created based on this defined desired urban pattern that would apply to new construction.

### **Apply Form-Based Regulations**

A Form-Based Code is a land development regulatory tool that places primary emphasis on the physical form of the built environment with the end goal of producing a specific community character. Conventional zoning strictly controls land-use, through abstract regulatory statistics, which can result in very different physical environments. The root principle of Form-Based Coding is that design is more important than land use. Simple and clear graphic prescriptions for building height, how a building is placed on site, and building elements (such as location of windows, doors, etc) are used to control development. Land use is not to be ignored in form-based coding, but regulated using broad parameters that can better respond to market economics, while also restricting the locations of certain undesirable combinations of uses. Hundreds of communities across the country have adopted form-based codes, a selection of these communities is analyzed in the case studies in this chapter.

A Form-Based Code would allow by-right development of property in congruence with standards set forth in the code. The Form Based Code would streamline the process of getting projects approved because of the investment in public process and consensus that the Stone Avenue Plan incorporates. Nonetheless, the implementation of a Form-Based Code in Greenville would require community input discussions and formal public hearings beyond those conducted as a part of the Plan Stone Avenue process.

When adopting a Form-Based Code, there are a number of legal routes for applying the code. The most useful techniques for the North End are Overlay Zones or Floating Zones, discussed in the following pages.

### **Form-Based Code Overlay Zone**

An Overlay Zone imposes a set of requirements or relaxes a set of requirements imposed by the underlying



The first step is improvements to the streetscape: reducing the through travel lanes from four to three, and adding pedestrian features such as street trees, on-street parking, wide sidewalks, crosswalks, and pedestrian-scaled lighting fixtures.

**Step 1: Street Improvements Implemented**  
At left, the road diet is implemented, and pedestrian features such as street trees, on-street parking, wide sidewalks, crosswalks, and properly-scaled lighting fixtures are added. By reducing the number of through travel lanes for vehicles, and reconfiguring the lane widths, the road diet is accomplished without moving the existing curb line. Keeping the existing curb line is beneficial in terms of phasing possibilities and for reducing construction costs. The street trees are placed in wells located within the existing curb-to-curb dimension, and alternate with on-street parking spaces. The varying width of the right-of-way will require the wider sidewalk in some instances to be in the front setback of a property; in other instances it is completely within the public right-of-way. The redesigned roadway, including the textured surface on the center turning lane, will help to slow travel speeds, which will also increase walkability along Stone Avenue.



Once the street has been re-configured, street-oriented infill on individual parcels is possible.

**Step 2: Incremental Infill Begins**

Once the streetscape improvements are in place, the road can support street-oriented retail buildings. Incremental infill of individual parcels can begin, as market conditions allow. The image at left shows how the redevelopment of just one parcel can begin to have an impact on the character of the street.



## plan stone avenue

### Step 3: Completing the Scene

Over time, additional parcels redevelop, completing the transformation of Stone Avenue into a walkable street. To achieve the urban form illustrated here, it is important for new buildings to follow a few basic rules: provide doors and windows that face the street; locate the front building wall in a consistent manner with surrounding properties, to provide a continuous frontage for pedestrians; and be of an appropriate scale (such as the two to three story buildings shown here) to create a sense of enclosure for pedestrians. In addition, building materials, the proportions of architectural elements, and signage all impact the character of a place. In order to get the details correct, it is recommended that a Form-Based Code or a set of design standards be assembled, which can ensure that new development meets the expectations of the Stone Avenue community.



Location of accompanying illustrations, proposed.



The transformation of Stone Avenue from a suburban corridor to walkable, multi-modal street is complete. Note that the existing overhead power lines are still in place, within the sidewalk area. The decision to bury the power lines will depend on the availability of funding sources, and does not need to slow implementation of other proposed improvements.

Application #	<u>Z 20. 2016</u>	Fees Paid	<u>550.00</u>
Date Received:	<u>9/19</u>	Accepted by	<u>82</u>
Date deemed complete		App Deny Conditions	



# APPLICATION FOR ZONING MAP AMENDMENT CITY OF GREENVILLE, SOUTH CAROLINA

## APPLICANT/OWNER INFORMATION

	APPLICANT	PROPERTY OWNER
NAME:	<u>Westone Development, LLC</u>	<u>Becco Properties LLC</u>
ADDRESS:	<u>P.O. Box 9721</u> <u>Greenville, SC 29604</u>	<u>P.O. Box 2044</u> <u>Greenville, SC 29602</u>
PHONE:	<u>804.380.1881</u>	
FAX:		
EMAIL:	<u>mplotchur@plotchur-development.com</u>	<u>jwoodruff@beccoparts.com</u>

## PROPERTY INFORMATION

4 parcels

STREET ADDRESS:	<u>109 W. Stone Ave</u>	DEED BOOK/PAGE	<u>2246 / 1131</u>
TAX PARCEL #:	<u>0009000901900</u>	ACREAGE	<u>1.095</u>

## REQUEST

CURRENT DESIGNATION:	<u>O-D</u>	PROPOSED DESIGNATION:	<u>C-2</u>
----------------------	------------	-----------------------	------------

## INSTRUCTIONS

1. If the application includes more than one (1) parcel and more than one (1) owner, the applicant must provide the appropriate deed book/page references, tax parcel numbers, and owner signatures as an attachment.
2. The application and fee, **made payable to the City of Greenville**, must be received by the planning and development office no later than 5:00 pm of the date reflected on the attached schedule.
3. The applicant/owner must respond to the "standards" questions on page 2 of this application (you must answer "why" you believe the application meets the tests for granting a map amendment). See also **Section 19-2.3.2, Amendments to Text and Zoning District Map**, for additional information. You may attach a separate sheet addressing these questions.
4. If you are submitting an application to amend the zoning district designation for a portion of a property otherwise described by deed, you must attach a survey of the parcel reflecting the requested zoning district designation(s) by courses and distances.
5. You must attach the required application fee: \$550.00
6. The administrator will review the application for "sufficiency" pursuant to **Section 19-2.2.6, Determination of Sufficiency**, prior to placing the application on the planning commission agenda. If the application is determined to be "insufficient", the administrator will contact the applicant to request that the applicant resolve the deficiencies. **You are encouraged to**

**schedule an application conference with a planner, who will review your application for "sufficiency" at the time it is submitted. Call (864) 467-4476 to schedule an appointment.**

7. You must post the subject property at least 15 days (but not more than 18 days) prior to the scheduled hearing date.

3 ✓ 'Public Hearing' signs are acknowledged as received by the applicant.

\_\_\_\_ Received information for public meeting

[Signature] 9/19/16

**8. Please read carefully:** The applicant and property owner affirm that all information submitted with this application; including any/all supplemental information is true and correct to the best of their knowledge and they have provided full disclosure of the relevant facts.

In addition the applicant affirms that the applicant or someone acting on the applicant's behalf has made a reasonable effort to determine whether a deed or other document places one or more restrictions on the property that preclude or impede the intended use and has found no record of such a restriction.

If the planning office by separate inquiry determines that such a restriction exists, it shall notify the applicant. If the applicant does not withdraw or modify the application in a timely manner, or act to have the restriction terminated or waived, then the planning office will indicate in its report to the Planning Commission that granting the requested change would not likely result in the benefit the applicant seeks.

To that end, the applicant hereby affirms that the tract or parcel of land subject of the attached application is \_\_\_\_\_ or is not \_\_\_\_\_ restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the requested activity.

Westone Development, LLC APPLICANT  
9.12.2016 DATE  
[Signature] BECC Property LLC PROPERTY OWNER  
9/13/16 DATE

**APPLICANT RESPONSE TO SECTION 19-2.3.2(E)(2), AMENDMENTS TO ZONING DISTRICT MAP**

(YOU MAY ATTACH A SEPARATE SHEET)

1. DESCRIBE THE WAYS IN WHICH THE PROPOSED ZONING DESIGNATION IS CONSISTENT WITH THE COMPREHENSIVE PLAN.

see attached

2. DESCRIBE THE CONDITIONS THAT HAVE CHANGED FROM CONDITIONS PREVAILING AT THE TIME THAT THE ORIGINAL DESIGNATION WAS ADOPTED.

3. DESCRIBE THE WAYS IN WHICH THE PROPOSED AMENDMENT ADDRESSES A DEMONSTRATED COMMUNITY NEED.

Application # _____	Fees Paid _____
Date Received: _____	Accepted by _____
Date deemed complete _____	App Deny Conditions _____



## APPLICATION FOR ZONING MAP AMENDMENT CITY OF GREENVILLE, SOUTH CAROLINA

### APPLICANT/OWNER INFORMATION

	APPLICANT	PROPERTY OWNER
NAME:	<u>Westone Development, LLC</u>	<u>Tlana Properties, LLC</u>
ADDRESS:	<u>P.O. Box 9721</u> <u>Greenville, SC 29604</u>	<u>105 W. Stone Ave.</u> <u>Greenville, SC 29609</u>
PHONE:	<u>804.380.1881</u>	_____
FAX:	_____	_____
EMAIL:	<u>mfpletcher@pletcher-development.com</u>	

### PROPERTY INFORMATION

STREET ADDRESS: <u>105 W. Stone Ave.</u>	DEED BOOK/PAGE <u>2472 / 5270</u>
TAX PARCEL #: <u>0009000401700</u>	ACREAGE <u>0.158</u>

### REQUEST

CURRENT DESIGNATION: D-D                      PROPOSED DESIGNATION: C-2

### INSTRUCTIONS

1. If the application includes more than one (1) parcel and more than one (1) owner, the applicant must provide the appropriate deed book/page references, tax parcel numbers, and owner signatures as an attachment.
2. The application and fee, **made payable to the City of Greenville**, must be received by the planning and development office no later than 5:00 pm of the date reflected on the attached schedule.
3. The applicant/owner must respond to the "standards" questions on page 2 of this application (you must answer "why" you believe the application meets the tests for granting a map amendment). See also **Section 19-2.3.2, Amendments to Text and Zoning District Map**, for additional information. You may attach a separate sheet addressing these questions.
4. If you are submitting an application to amend the zoning district designation for a portion of a property otherwise described by deed, you must attach a survey of the parcel reflecting the requested zoning district designation(s) by courses and distances.
5. You must attach the required application fee: \$550.00
6. The administrator will review the application for "sufficiency" pursuant to **Section 19-2.2.6, Determination of Sufficiency**, prior to placing the application on the planning commission agenda. If the application is determined to be "insufficient", the administrator will contact the applicant to request that the applicant resolve the deficiencies. **You are encouraged to**



Application # _____	Fees Paid _____
Date Received: _____	Accepted by _____
Date deemed complete _____	App Deny Conditions _____



## APPLICATION FOR ZONING MAP AMENDMENT CITY OF GREENVILLE, SOUTH CAROLINA

### APPLICANT/OWNER INFORMATION

	APPLICANT	PROPERTY OWNER
NAME:	<u>Westone Development, LLC</u>	<u>Rhonda A. Fink</u>
ADDRESS:	<u>P.O. Box 9721</u> <u>Greenville, SC 29604</u>	<u>103 W. Stone Ave.</u> <u>Greenville, SC 29609</u>
PHONE:	<u>804.380.1881</u>	_____
FAX:	_____	_____
EMAIL:	<u>m.fletcher@fletcherdevelopment.com</u>	

### PROPERTY INFORMATION

STREET ADDRESS: <u>103 W. Stone Ave</u>	DEED BOOK/PAGE <u>1432 / 591</u>
TAX PARCEL #: <u>0009000401500</u> <u>0009000401400</u>	ACREAGE <u>0.339</u>

### REQUEST

CURRENT DESIGNATION: <u>O-D</u>	PROPOSED DESIGNATION: <u>C-2</u>
---------------------------------	----------------------------------

### INSTRUCTIONS

1. If the application includes more than one (1) parcel and more than one (1) owner, the applicant must provide the appropriate deed book/page references, tax parcel numbers, and owner signatures as an attachment.
2. The application and fee, **made payable to the City of Greenville**, must be received by the planning and development office no later than 5:00 pm of the date reflected on the attached schedule.
3. The applicant/owner must respond to the "standards" questions on page 2 of this application (you must answer "why" you believe the application meets the tests for granting a map amendment). See also **Section 19-2.3.2, Amendments to Text and Zoning District Map**, for additional information. You may attach a separate sheet addressing these questions.
4. If you are submitting an application to amend the zoning district designation for a portion of a property otherwise described by deed, you must attach a survey of the parcel reflecting the requested zoning district designation(s) by courses and distances.
5. You must attach the required application fee: \$550.00
6. The administrator will review the application for "sufficiency" pursuant to **Section 19-2.2.6, Determination of Sufficiency**, prior to placing the application on the planning commission agenda. If the application is determined to be "insufficient", the administrator will contact the applicant to request that the applicant resolve the deficiencies. **You are encouraged to**

**schedule an application conference with a planner, who will review your application for "sufficiency" at the time it is submitted. Call (864) 467-4476 to schedule an appointment.**

7. You must post the subject property at least 15 days (but not more than 18 days) prior to the scheduled hearing date.

'Public Hearing' signs are acknowledged as received by the applicant.

Received information for public meeting

**8. Please read carefully:** The applicant and property owner affirm that all information submitted with this application; including any/all supplemental information is true and correct to the best of their knowledge and they have provided full disclosure of the relevant facts.

In addition the applicant affirms that the applicant or someone acting on the applicant's behalf has made a reasonable effort to determine whether a deed or other document places one or more restrictions on the property that preclude or impede the intended use and has found no record of such a restriction.

If the planning office by separate inquiry determines that such a restriction exists, it shall notify the applicant. If the applicant does not withdraw or modify the application in a timely manner, or act to have the restriction terminated or waived, then the planning office will indicate in its report to the Planning Commission that granting the requested change would not likely result in the benefit the applicant seeks.

To that end, the applicant hereby affirms that the tract or parcel of land subject of the attached application is \_\_\_\_\_ or is not  restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the requested activity.

<u>Westco Development, LLC</u>	APPLICANT
<u>9-12-2016</u>	DATE
<u>Richard A. ZH</u>	PROPERTY OWNER
<u>9-16-16</u>	DATE

**APPLICANT RESPONSE TO SECTION 19-2.3.2(E)(2), AMENDMENTS TO ZONING DISTRICT MAP**

(YOU MAY ATTACH A SEPARATE SHEET)

1. DESCRIBE THE WAYS IN WHICH THE PROPOSED ZONING DESIGNATION IS CONSISTENT WITH THE COMPREHENSIVE PLAN.

\_\_\_\_\_

2. DESCRIBE THE CONDITIONS THAT HAVE CHANGED FROM CONDITIONS PREVAILING AT THE TIME THAT THE ORIGINAL DESIGNATION WAS ADOPTED.

\_\_\_\_\_

3. DESCRIBE THE WAYS IN WHICH THE PROPOSED AMENDMENT ADDRESSES A DEMONSTRATED COMMUNITY NEED.

\_\_\_\_\_

## **Beco C-2 rezoning application**

### **1. DESCRIBE THE WAYS IN WHICH THE PROPOSED ZONING DESIGNATION IS CONSISTENT WITH THE COMPREHENSIVE PLAN.**

The proposed zoning designation is C-2, local commercial district, which is intended to provide a limited range of general retail, business, and service uses as well as professional and business offices, but not intensive business or industrial activities, to persons living in surrounding neighborhoods, and the comprehensive plan's future land use map designates a majority of Stone Ave, including the parcels in this application, as Mixed Use Neighborhood, which allows for lower-intensity mixed-use development that is focused on neighborhood services. The proposed zoning designation is therefore consistent with the comprehensive plan and will allow for a mixture of commercial uses that are convenient for the neighbors.

### **2. DESCRIBE THE CONDITIONS THAT HAVE CHANGED FROM CONDITIONS PREVAILING AT THE TIME THAT THE ORIGINAL DESIGNATION WAS ADOPTED.**

The Battery & Electric Company ("Beco") property has been used commercially since the 1920s. In fact, our research indicates this was the first commercial property developed on W. Stone Ave. The City placed an O-D, office and institutional district, zoning designation on all of W. Stone Ave in the early 1980s. Beco has operated on the site since the 1960s and has continued operating as a "non-conforming" commercial property at this location since the City's O-D rezoning approximately 35 years ago. Within the past two years, the City has invested millions of dollars in sewer improvements for the East Park and North Main areas. This infrastructure investment was specifically made to encourage growth, redevelopment and infill along the surrounding corridors. As a result of this public investment, the continued success of our downtown, and the desirability of the North Main area, there has been and will continue to be a strong demand for infill redevelopment on Stone Ave. Several significant projects have recently been developed and proposed along E. Stone Ave, and our proposal is much smaller but equally important to the commercial infill and redevelopment of W. Stone Ave. The proposed amendment and resulting redevelopment project will allow the vision of the Stone Avenue Master Plan to become a reality for the Beco property.

### **3. DESCRIBE THE WAYS IN WHICH THE PROPOSED AMENDMENT ADDRESSES A DEMONSTRATED COMMUNITY NEED.**

The success and growth of our downtown has had a positive spillover effect on the nearby neighborhoods and commercial corridors as they are now similarly experiencing urban renewal. This is further driven by the fact that downtown has become very expensive for business owners, and nearby areas like Stone Ave. are slightly less expensive yet in a very desirable location. Local business and out of town businesses have realized this fact, and they are now targeting the area for their business relocation or expansion.

The Beco property has been an integral part of the W. Stone Ave. commercial corridor for over 90 years, but it is blighted and requires significant improvements to be in compliance with current building and safety codes. The proposed amendment will make the necessary improvements feasible by continuing to allow a mixture of commercial uses on the property. There is high demand for infill redevelopment that serves the local community, and the proposed amendment will allow the Beco property to meet this need.

4. DESCRIBE THE WAYS IN WHICH THE PROPOSED AMENDMENT IS COMPATIBLE WITH EXISTING AND PROPOSED USES SURROUNDING THE SUBJECT LAND AND IS THE APPROPRIATE ZONING DISTRICT FOR THE LAND.

The Beco property is one of many parcels on West Stone Ave. near N. Main St. that have been continually used for commercial purposes since the 1920s. In 2007, Beco sold a portion of its property that fronted Townes St. to a residential developer who built and sold four houses on the land. Since then, many new houses have been built directly behind the Beco property on Neal St. More recently, parcels on West Stone Ave. have been rezoned to C-2 and an infill townhome development is being proposed one parcel to the west of the Beco property. Stone Avenue is a significant thoroughfare and all the recent development activity is taking place with the Beco property in its current unimproved condition. The proposed amendment will complement the existing and proposed uses which surround the property, and this is further evidenced by the neighboring properties to the east of Beco joining this rezoning application.

5. DESCRIBE THE WAYS IN WHICH THE PROPOSED AMENDMENT PROMOTES A LOGICAL AND ORDERLY DEVELOPMENT PATTERN.

The proposed amendment will enable the existing commercial buildings on the Beco property to be adaptively reused for a mixture of commercial purposes. This will maintain the authenticity of W. Stone Ave. while improving the existing building stock. New users will be able to relocate to the area and provide their services to the local community.

6. DESCRIBE THE WAYS IN WHICH THE PROPOSED AMENDMENT WILL NOT RESULT IN

UNDESIRABLE STRIP OR RIBBON COMMERCIAL DEVELOPMENT.

The proposed amendment is for an infill redevelopment project that will replace existing commercial uses with new commercial uses. The proposed amendment will enable the property to be improved and continue its history of commercial use.

7. DESCRIBE THE WAYS IN WHICH THE PROPOSED AMENDMENT WILL NOT RESULT IN THE CREATION OF AN INAPPROPRIATELY-ISOLATED ZONING DISTRICT UNRELATED TO ADJACENT AND SURROUNDING ZONING DISTRICTS.

The proposed amendment requests a C-2, local commercial district, zoning designation which is the same zoning that was recently placed on the McAfee Funeral Home property on W. Stone Ave. The Stone Ave. corridor is redeveloping and the Beco property is an infill site that has historically and continuously been used for commercial purposes.

8. DESCRIBE THE WAYS IN WHICH THE PROPOSED AMENDMENT WILL NOT RESULT IN SIGNIFICANT ADVERSE IMPACTS ON THE PROPERTY VALUES OF SURROUNDING LANDS.

The proposed amendment will enable the property to be redeveloped and improved, and this should have a positive impact on the area and surrounding property values. Currently, the site is unimproved and it is not feasible for the owners to improve the property for their use as a lawn mower repair and small engine parts store. The proposed redevelopment will improve the aesthetics and safety of the existing buildings, and it will bring new commercial users to this thriving area of town.

9. DESCRIBE THE WAYS IN WHICH THE PROPOSED AMENDMENT WILL NOT RESULT IN DETRIMENTAL IMPACTS ON THE NATURAL ENVIRONMENT AND ITS ECOLOGY, INCLUDING BUT NOT LIMITED TO: WATER; AIR; NOISE; STORMWATER MANAGEMENT; WILDLIFE; VEGETATION; AND, WETLANDS.

The Beco property was used as a drycleaner until the 1950s and, as a result, we have entered into a Voluntary Cleanup Contract with DHEC to assess the property for any environmental contamination. A successful rezoning will enable us to perform any necessary environmental remediation on the property, and this will result in a positive impact on the natural environment and its ecology.

10. DESCRIBE THE WAYS IN WHICH THE PROPOSED AMENDMENT WILL RESULT IN DEVELOPMENT THAT IS ADEQUATELY SERVED BY PUBLIC FACILITIES AND SERVICES (ROADS, POTABLE WATER, SEWERAGE, SCHOOLS, PARKS, POLICE, FIRE, AND EMERGENCY FACILITIES).

The proposed amendment will result in an infill development of the existing buildings on the Beco property which are currently adequately served by public facilities and services. The project will utilize the City's recent investment in sewer capacity for the N. Main area.

## Abbie Rickoff

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**From:** Michael Fletcher <mfletcher@fletcher-development.com>  
**Sent:** Friday, September 23, 2016 12:40 PM  
**To:** Tracy Ramseur  
**Cc:** 'Pete Brett'; Bryan Wood; Abbie Rickoff  
**Subject:** RE: 109 W Stone Ave neighborhood meeting  
**Attachments:** Neighborhood meeting notes for City.docx; Neighborhood Meeting Sign In 9-22-16.pdf

Tracy: We had a good neighborhood meeting last night and we really appreciated Abbie attending the meeting and answering some of the questions. Attached are the meeting notes and sign in sheet. Thanks and enjoy the weekend (I hope David isn't too down after the GT/Clemson football game).

Michael

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**From:** Tracy Ramseur [mailto:[tramseur@greenvillesc.gov](mailto:tramseur@greenvillesc.gov)]  
**Sent:** Thursday, September 22, 2016 11:17 AM  
**To:** Michael Fletcher <mfletcher@fletcher-development.com>  
**Cc:** 'Pete Brett' <[pbrett@cbccaine.com](mailto:pbrett@cbccaine.com)>  
**Subject:** RE: 109 W Stone Ave neighborhood meeting

Michael,

The Planning staff is not able to attend the meeting. I asked Abbie Rickoff if she would go over the procedural details with you in case you get any questions from the neighborhood about next steps, schedule, etc. Please give her a call today at 467-3816.

Be sure to take notes and have a sign-in sheet. Call me tomorrow to let me know how it goes.

Thanks,  
Tracy



**Tracy D. Ramseur**  
Development Coordinator | Economic Development  
[tramseur@greenvillesc.gov](mailto:tramseur@greenvillesc.gov) | [www.greenvillesc.gov](http://www.greenvillesc.gov)  
P.O. Box 2207 | 206 S. Main Street | Greenville, SC 29602  
PHONE: 864.467.4404

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**From:** Tracy Ramseur  
**Sent:** Thursday, September 22, 2016 9:59 AM  
**To:** 'Michael Fletcher' <[mfletcher@fletcher-development.com](mailto:mfletcher@fletcher-development.com)>  
**Cc:** 'Pete Brett' <[pbrett@cbccaine.com](mailto:pbrett@cbccaine.com)>  
**Subject:** RE: 109 W Stone Ave neighborhood meeting

Hey Michael,

I'm checking to see if anyone from Planning is going to attend. Ginny is out of town; Bryan may be out as well.

If they are not going to be there, let's chat before the end of the day. Thanks!

Tracy



**Tracy D. Ramseur**

Development Coordinator | Economic Development  
[tramseur@greenvillesc.gov](mailto:tramseur@greenvillesc.gov) | [www.greenvillesc.gov](http://www.greenvillesc.gov)  
P.O. Box 2207 | 206 S. Main Street | Greenville, SC 29602  
PHONE: 864.467.4404

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**From:** Michael Fletcher [<mailto:mfletcher@fletcher-development.com>]

**Sent:** Thursday, September 22, 2016 8:25 AM

**To:** Planning <[planning@greenvillesc.gov](mailto:planning@greenvillesc.gov)>; Ginny Stroud <[gstroud@greenvillesc.gov](mailto:gstroud@greenvillesc.gov)>; Leslie Fletcher <[lfletcher@greenvillesc.gov](mailto:lfletcher@greenvillesc.gov)>

**Cc:** 'Pete Brett' <[pbrett@cbccaine.com](mailto:pbrett@cbccaine.com)>; Bryan Wood <[bwood@greenvillesc.gov](mailto:bwood@greenvillesc.gov)>; Tracy Ramseur <[tramseur@greenvillesc.gov](mailto:tramseur@greenvillesc.gov)>; Sheryl Hobbs <[shobbs@greenvillesc.gov](mailto:shobbs@greenvillesc.gov)>

**Subject:** 109 W Stone Ave neighborhood meeting

Ginny, Leslie & Planning: We will be holding our neighborhood meeting for the requested rezoning of 109 W. Stone Ave (the Battery & Electric Co. property) tonight at 6pm at First Rock Church (112 W. Stone Ave, across the street from Battery & Electric Co.). I apologize for the short notice, but this morning when I was reading the neighborhood meeting instructions that Sheryl had previously shared with us I realized I had not provided all of you written notice of this scheduled meeting. We mailed notice of the neighborhood meeting to the neighbors two weeks ago, and we are looking forward to meeting with the neighborhoods tonight.

Michael  
864.380.1881

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**From:** Sheryl Hobbs [<mailto:shobbs@greenvillesc.gov>]

**Sent:** Tuesday, August 30, 2016 11:19 AM

**To:** [pbrett@cbccaine.com](mailto:pbrett@cbccaine.com)

**Cc:** Bryan Wood <[bwood@greenvillesc.gov](mailto:bwood@greenvillesc.gov)>; Tracy Ramseur <[tramseur@greenvillesc.gov](mailto:tramseur@greenvillesc.gov)>; [mfletcher@fletcher-development.com](mailto:mfletcher@fletcher-development.com)

**Subject:** 107 & 109 W Stone Av mailing list

Good morning Pete,

Please find attached a list of property owners surrounding the W Stone Av property. The word document may be copied directly onto Avery 5160 labels. The excel document should allow you to download for any other type of label. Surrounding neighborhood presidents should also be included in your mailing. That information to follow from Bryan Wood.

Please be sure to email us the details for your neighborhood meeting per the instructions also attached.



**Sheryl Hobbs**

Administrative Assistant II | Planning & Development  
[shobbs@greenvillesc.gov](mailto:shobbs@greenvillesc.gov) | [www.greenvillesc.gov](http://www.greenvillesc.gov)  
PHONE: 864-467-4476 | FAX: 864-467-4510

**From:** Pete Brett [<mailto:pbrett@cbccaine.com>]  
**Sent:** Monday, August 29, 2016 3:59 PM  
**To:** Tracy Ramseur <[tramseur@greenvillesc.gov](mailto:tramseur@greenvillesc.gov)>  
**Cc:** Michael Fletcher <[mfletcher@fletcher-development.com](mailto:mfletcher@fletcher-development.com)>  
**Subject:** Stone

Tracy  
We working toward our neighborhood meeting. Can you get us the list of addresses that you provide? Thanks very much.

**Pete Brett, CCIM**  
Coldwell Banker Commercial Caine  
117 Williams Street  
P. O. Box 1908 (29602)  
Greenville, SC 29601  
864.414.6796 Mobile  
864.250.6815 Direct  
864.250.6859 Fax  
[pbrett@cbccaine.com](mailto:pbrett@cbccaine.com)  
[www.cbccaine.com](http://www.cbccaine.com)



### **Neighborhood meeting notes**

Battery & Electric Co property redevelopment (109 W. Stone Ave)

September 22, 2016

First Rock Church

Meeting agenda: 1) History of property, 2) Redevelopment plans, 3) Why rezone to C-2 from OD, 4) Public hearing date Oct. 20, 5) Comments and Questions & Answers

The neighborhood meeting was attend by about 40 people and no one spoke in opposition to the project. The attendees, in general, were very positive about the redevelopment plan to adaptively reuse the existing buildings for a mix of restaurants, retailers and/or office uses that are convenient for the neighbors.

One attendee inquired why the developers were not pursuing a rezoning to FRD. The developers responded that this had been considered but the “flexibility” of FRD was not necessary, in this case, because the existing buildings were being redeveloped in place and therefore the overall density and building setbacks were not being changed.

Another attendee asked about the City’s request for the McAfee Funeral Home to be rezoned to C-2. Abbie Rickoff, a development planner with the City, explained that C-2 on W. Stone Ave. was consistent with the City’s master plan and future land use map. Amy Ryberg Doyle added that the Stone Avenue master plan envisioned future growth in this area to include mixed-use developments. Michael Fletcher noted that the master plan showed the Battery & Electric Co properties remaining on the site. He said that C-2 was the closest existing zoning designation to the “mixed use neighborhood” future land use classification of the master plan. Michael added that C-2 and OD were very similar zoning classifications, but the main difference – and the reason for the requested rezoning – was that C-2 additionally permitted restaurant and retail uses. However, Michael said drive-through restaurants required a special use exception in C-2.

Finally, an attendee inquired about the potential for C-2 “zoning creep” along W. Stone Ave. Amy Ryberg Doyle said the City evaluated each project on a case by case basis. Michael Fletcher reference a townhome project that was being developed two lots to the West of the Battery & Electric Co. property. This redevelopment was permitted under the existing OD zoning designation and therefore the C-2 zoning was unlikely to progress to the west of this project.

Neighborhood Meeting

Project Name: Beav 109 W. Stone Ave

Location: 112 W. Stone Ave First Reck Church

Time of the meeting: 6 pm

Date: 9-22-2010

Representative holding meeting: Michael Fletcher, Winston Development LLC

Name	Street Address	Email
1 Terry A Carter	6 NEAL ST	Captain 29601@Yahoo.com
2 Maren Gabeed	623 N. Main St	manardh007@gmail.com
3 KIM KRAFFMAN	209 W STONE AVE GREENVILLE 29609	KKRAFFMAN@FY-INC.COM
4 MARK GODFREY	313 W STONE AVE "	Mgodfrey@lmg-architects.com
5 Chris Baker	8 Neal St.	cprober55@gmail.com
6 Garb Baker	"	"
7 Eddie Gambrell	9 Neal St Greenville 29601	eddo brado @msn.com
8 DIANNE CASSELLMAN	509A TOWNES ST GREENVILLE 29601	dianne.casselmann@gmail.com
9 Ken + Julie Proctor	550 Robinson St 29609	Kpvisiter@hotmail.com
10 VINCE GREEN	206 NEAL ST GREENVILLE, SC 29601	VINCEGREEN@HOTMAIL.COM
11 David Madam	116 W. Stone	DAVID@3DES.NET
12 Joe + Lucy Pulliam	5096 Townes St. 29601	Pulliam.joe@gmail.com
13 Lyle Moore	15 Neal St 29601	Lyle.Moore@Fluor.com
14 Steve Hajosy	14 W. Earle	Stevehajosy@gmail.com
15 Lisa Underley	105 W-Stone Avenue	USC199971isa@gmail.com
16 Mary Dickson	118 w. Hon St.	Macfrandru66@gmail.com
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Neighborhood Meeting

Project Name: Seco 109 W. Stone Ave.

Location: 112 W. Stone Ave. East Rock Church

Time of the meeting: 6 pm

Date: 5.22.2016

Representative holding meeting: Michael Fletcher Weston Development LLC

Name	Street Address	Email
1 Amy Doyle	3 Buist Av	amy-doyle@bellsouth.net
2 William Doyle	3 Buist Av	
3 Bob Sasperly	623 N. MAIN ST. # 8, G. VILLE.	LINNEA.BOB75@gmail.com
4 A.C.C. Woodruff	105 W. Stone Ave.	
5 Chip Woodruff	104 W. Stone Ave.	
6 Cindy Lee	118 W. Stone Ave	CINDYSS@comcast.net
7 Anne Marchant	100 W. Stone Ave	Anne@MarchantCo.com
8 Seabrook Marchant	100 W. Stone Ave	
9 Bruce Ko	112 W. Stone Ave.	
10 Jared Moore	112 W. Stone Ave	
11 Ellen Mays	311 W Earle St	
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**Planning Staff Report to  
Greenville Planning Commission  
October 14, 2016**  
*for the October 20, 2016 Public Hearing*

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**Docket Number:** Z 22-2016  
**Applicant:** City of Greenville SC  
**Property Owner:** CITY OF GREENVILLE  
**Property Location:** 8 BENNETT ST  
**Tax Map Number:** 003700-01-00700  
**Acreage:** **Approximately 2.424**  
**Zoning:** RM-2, Single- & Multi-Family Residential District  
**Proposal:** **REZONE TO OD, OFFICE & INSTITUTIONAL DISTRICT (LOT 1)  
AND R-6, SINGLE-FAMILY RESIDENTIAL DISTRICT (LOT 2)**

**Staff Recommendation:** **Approve, subject to staff conditions and approval by City Council**

**Staff Analysis:**

This RM-2 zoned parcel is located in the East Park Preservation Overlay, with frontage on Bennett Street, E. Park Avenue, and N. Church Street. Surrounding properties are zoned R-6 and RM-2 (west of N. Church Street), and C-2 (east of N. Church Street). The C-2 zoning district continues along E. Stone Avenue. The historic Beattie House is located along the northern edge of the subject property, which is within the 'Urban Residential' designation in the Future Land Use Map of the 2009 Comprehensive Plan. 'Urban Residential' applies to residential neighborhood surrounding the downtown core, and is intended to preserve the City's historic neighborhoods. The property is in close proximity to the 'Mixed Use Neighborhood' designation along E. Stone Avenue, which allows neighborhood commercial development that is appropriately buffered from residential neighborhoods. The proposed zoning map amendment will allow land uses appropriate for each of these designations, and the property will be subdivided to accommodate the rezoning request.

Lot 1 is proposed to be zoned OD, *Office and Institutional District*, which will allow the Beattie House more opportunity for different uses, as well as opportunity for reinvestment and rehabilitation. The OD district will also help to buffer the residential properties adjacent to this property from the non-residential districts (east) along Church Street. Lot 2 is proposed to be zoned R-6, *Single-family Residential District*, to preserve the prevailing residential character along Bennett Street and surrounding streets. The R-6 zoned parcel consists of the property's entire Bennett Street frontage.

Staff offers the following responses to the Rezoning Criteria found at Section 19-2.3.2 (E) (2), Amendments to Zoning District Map.

1. Consistent with the Comprehensive Plan: The subject parcel is designated as “Urban Residential”. Goals of the Comp Plan include: “Create safe, walkable spaces and accessible destinations”; “Enhance and protect residential areas”; and “Encourage compact development and mixed use development while respecting neighborhood character”.
2. Changed conditions since the original designation: The desire to reinvest and rehabilitate the Beattie House while appropriately maintaining the single-family residential character of Bennett Street, are the changed conditions.
3. Addresses a demonstrated community need: The zoning amendment will allow opportunity for more uses of the Beattie House, while preserving the ‘Urban Residential’ character of Bennett Street.
4. Compatible with surrounding uses: The zoning amendment will create an R-6 zoning district and new single-family residential use along Bennett Street (Lot 2), consistent with other properties along the street. Should the Beattie House parcel (Lot 1) include any non-single family residential use, the Bennett Street entrance may be closed at the discretion of the City. This would divert any non-residential traffic for the Beattie House to the Church Street entrance, further preserving the residential character and property values of Bennett Street.
5. Promotes logical development pattern: The OD district (Lot 1) will allow a transition from C-2 (east) and OD (south) along N. Church Street, to the adjacent residential properties abutting the subject property. The R-6 district (Lot 2) will allow for single-family residential use that is consistent with adjacent properties. The property will be subdivided to accommodate the rezoning request.
6. Will not result in “strip” or ribbon commercial development: The amendment will preserve the historic Fountain Fox Beattie House and create a new single-family residential lot on Bennett Street. Neither of these will result in strip or ribbon commercial development.
7. Will not create an isolated zoning district: The R-6 and OD districts are compatible with surrounding zoning districts. The R-6 district is consistent with adjacent properties on Bennett Street and Poinsett Avenue. The OD district is consistent with the properties (south) along N. Church Street, and provides a buffer from the C-2 zoned properties (east) along N. Church Street and E. Park Avenue.
8. Surrounding property values: The current entrance to the property on Bennett Street may be closed should there be any non-single family residential use, at the discretion of the City. This would divert all access to the Beattie House to Church Street, further preserving the residential character and property values of Bennett Street.
9. Effect on natural environment: The proposed amendment will preserve the creek buffer as well as many trees on the property. This buffer will be maintained
10. Public facilities and services: The property is already served by City of Greenville Sewer and Greenville Water. Any non-single family residential use of the Beattie House property (Lot 1) is expected to be serviced by existing infrastructure. The additional single family residence on the newly created Bennett Street parcel (Lot 2) would require new water tap and sewer lateral connection, both of which can be easily served to the property.

**Applicable Sections of the City of Greenville Code of Ordinances:**

Sec. 2-372, *Function, Powers, and Duties of the Planning Commission*

Sec. 19-1.3, *Purpose and Intent*

Sec. 19-2.1.2(A)(2)(b), *Zoning District Map Amendments (Rezoning)*

Sec. 19-2.3.2(E)(2), *Amendments to Zoning District Map*

Sec. 19-3.2, *District Descriptions*

**City Engineer Comments**

**Recommend:** Approve

**Civil Engineer Comments**

**Recommend:** Approve

**Environmental Engineer Comments**

**Recommend:** Approve

**Traffic Engineer Comments**

**Recommend:** Approve

**Fire Department Comments**

**Recommend:** Approve w/ Comments

**Comments:**

All gated entrances require an automatic opening device that the fire department has access to use such as a KNOX lock. All fire access is required to be a minimum of 20 feet wide with a 40 degree turning radius.

Application #	<u>22-2016</u>	Fees Paid	<u>N/A</u>
Date Received:	<u>9/23</u>	Accepted by	<u>SA</u>
Date deemed complete	_____	App Deny	Conditions



# APPLICATION FOR ZONING MAP AMENDMENT CITY OF GREENVILLE, SOUTH CAROLINA

## APPLICANT/OWNER INFORMATION

	APPLICANT	PROPERTY OWNER
NAME:	<u>CITY OF GREENVILLE, SOUTH CAROLINA</u>	<u>CITY OF GREENVILLE, SOUTH CAROLINA</u>
ADDRESS:	<u>206 SOUTH MAIN STREET</u>	<u>206 SOUTH MAIN STREET</u>
	<u>GREENVILLE, SOUTH CAROLINA</u>	<u>GREENVILLE, SOUTH CAROLINA</u>
	<u>29601</u>	<u>29601</u>
PHONE:	<u>(864) 467-5723</u>	<u>(864) 467-5723</u>
FAX:	_____	_____
EMAIL:	<u>KHOWARD@GREENVILLESC.GOV</u>	<u>KHOWARD@GREENVILLESC.GOV</u>

## PROPERTY INFORMATION

STREET ADDRESS:	<u>8 BENNETT STREET</u>	DEED BOOK/PAGE:	<u>1187/663</u>
TAX PARCEL #:	<u>0037000100700</u>	ACREAGE:	<u>2.424</u>

## REQUEST

CURRENT DESIGNATION: RM-2      PROPOSED DESIGNATION: OD (Lot 1); R-6 (Lot 2)

## INSTRUCTIONS

1. If the application includes more than one (1) parcel and more than one (1) owner, the applicant must provide the appropriate deed book/page references, tax parcel numbers, and owner signatures as an attachment.
2. The application and fee, **made payable to the City of Greenville**, must be received by the planning and development office no later than 5:00 pm of the date reflected on the attached schedule.
3. The applicant/owner must respond to the "standards" questions on page 2 of this application (you must answer "why" you believe the application meets the tests for granting a map amendment). See also **Section 19-2.3.2, Amendments to Text and Zoning District Map**, for additional information. You may attach a separate sheet addressing these questions.
4. If you are submitting an application to amend the zoning district designation for a portion of a property otherwise described by deed, you must attach a survey of the parcel reflecting the requested zoning district designation(s) by courses and distances.
5. You must attach the required application fee: \$550.00
6. The administrator will review the application for "sufficiency" pursuant to **Section 19-2.2.6, Determination of Sufficiency**, prior to placing the application on the planning commission agenda. If the application is determined to be "insufficient", the administrator will contact the applicant to request that the applicant resolve the deficiencies. **You are encouraged to**

**schedule an application conference with a planner, who will review your application for "sufficiency" at the time it is submitted. Call (864) 467-4476 to schedule an appointment.**

7. You must post the subject property at least 15 days (but not more than 18 days) prior to the scheduled hearing date. You must organize and hold a neighborhood meeting at least 8 days prior to the scheduled public hearing date.

2 'Public Hearing' signs are acknowledged as received by the applicant.  
✓ Received information for neighborhood meeting

[Signature] Kevin R. Howard

**8. Please read carefully:** The applicant and property owner affirm that all information submitted with this application; including any/all supplemental information is true and correct to the best of their knowledge and they have provided full disclosure of the relevant facts.

In addition the applicant affirms that the applicant or someone acting on the applicant's behalf has made a reasonable effort to determine whether a deed or other document places one or more restrictions on the property that preclude or impede the intended use and has found no record of such a restriction.

If the planning office by separate inquiry determines that such a restriction exists, it shall notify the applicant. If the applicant does not withdraw or modify the application in a timely manner, or act to have the restriction terminated or waived, then the planning office will indicate in its report to the Planning Commission that granting the requested change would not likely result in the benefit the applicant seeks.

To that end, the applicant hereby affirms that the tract or parcel of land subject of the attached application is \_\_\_\_\_ or is not \_\_\_\_\_ restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the requested activity.

[Signature] City of Greenville APPLICANT  
\_\_\_\_\_  
DATE  
[Signature] PROPERTY OWNER  
\_\_\_\_\_  
DATE

**APPLICANT RESPONSE TO  
SECTION 19-2.3.2(E)(2), AMENDMENTS TO ZONING DISTRICT MAP**

(YOU MAY ATTACH A SEPARATE SHEET)

1. DESCRIBE THE WAYS IN WHICH THE PROPOSED ZONING DESIGNATION IS CONSISTENT WITH THE COMPREHENSIVE PLAN.

While the property lies within the Urban Residential and is adjacent to Neighborhood Mixed Use future land use designation, this amendment would allow uses appropriate in each of these designations. The OD zoning district for the Beattie House property (Lot 1) will allow a transition from C-2 commercial (east) along Church Street and office uses (south) to the adjacent single family residential properties abutting the property. The property received a Special Exception Permit for office use under its current RM-2 zoning classification in 2015. A 0.612-acre lot (Lot 2) will be subdivided from the parcel and zoned R-6 to preserve the Urban Residential character of Bennett Street. The R-6 zoned parcel consists of the property's entire Bennett Street frontage as seen in Exhibit A. The current entrance to the property on Bennett Street may be closed should there be any non-single family residential use at the discretion of the City.

2. DESCRIBE THE CONDITIONS THAT HAVE CHANGED FROM CONDITIONS PREVAILING AT THE TIME THAT THE ORIGINAL DESIGNATION WAS ADOPTED.

The property will be subdivided in order to allow for reinvestment, rehabilitation and opportunity for more uses at the Beattie House while also preserving the single family residential uses on Bennett Street. While the majority of the property would be zoned OD (Lot 1), a 0.612-acre lot (Lot 2) will be subdivided from the parcel. This property will be zoned R-6 and consists of the property's entire Bennett Street frontage as seen in Exhibit A. This proposal will allow for more uses of the Beattie House while appropriately transitioning to and maintaining the single family residential character of Bennett Street.

3. DESCRIBE THE WAYS IN WHICH THE PROPOSED AMENDMENT ADDRESSES A DEMONSTRATED COMMUNITY NEED.

The amendment will allow for reinvestment, rehabilitation and opportunity for more uses of the Beattie House under the OD zoning classification. The OD zoning district for the Beattie House property will allow a transition from C-2 commercial (east) along Church Street and office uses (south) to the adjacent single family residential properties abutting the property. While allowing for more uses of the Beattie House, the amendment will also preserve the single family residential character of Bennett Street. A 0.612-acre lot (Lot 2) will be subdivided from the parcel. This property will be zoned R-6 and consists of the property's entire Bennett Street frontage as seen in Exhibit A.

4. DESCRIBE THE WAYS IN WHICH THE PROPOSED AMENDMENT IS COMPATIBLE WITH EXISTING AND PROPOSED USES SURROUNDING THE SUBJECT LAND AND IS THE APPROPRIATE ZONING DISTRICT FOR THE LAND.

The amendment will create an R-6 zoning district and new single family residential use along Bennett Street (Lot 2), both consistent with other properties along the street. The OD zoning district for the Beattie House property (Lot 1) will allow a transition from C-2 commercial (east) along Church Street and office uses (south) to the adjacent single family residential properties abutting the property. Additionally, the current entrance to the property on Bennett Street may be closed should there be any non-single family residential use at the discretion of the City. This would divert non-residential traffic to the Beattie House to Church Street entrance, further preserving the residential character and property values of Bennett Street.

5. DESCRIBE THE WAYS IN WHICH THE PROPOSED AMENDMENT PROMOTES A LOGICAL AND ORDERLY DEVELOPMENT PATTERN.

The amendment will create an R-6 zoning district and single family residential use along Bennett Street (Lot 2), both consistent with other properties along the street. The OD zoning district for the Beattie House property (Lot 1) will allow a transition from C-2 commercial (east) along Church Street and office uses (south) to the adjacent single family residential properties abutting the property. Additionally, the current entrance to the property on Bennett Street may be closed should there be any non-single family residential use at the discretion of the City. This would divert non-residential traffic to the Beattie House to Church Street entrance, further preserving the residential character and property values of Bennett Street.

6. DESCRIBE THE WAYS IN WHICH THE PROPOSED AMENDMENT WILL NOT RESULT IN UNDESIRABLE STRIP OR RIBBON COMMERCIAL DEVELOPMENT.

The amendment will preserve the historic Fountain Fox Beattie House (Lot 1) and create a new single family residential lot on Bennett Street (Lot 2). Neither of these will result in strip or ribbon commercial development.

7. DESCRIBE THE WAYS IN WHICH THE PROPOSED AMENDMENT WILL NOT RESULT IN THE CREATION OF AN INAPPROPRIATELY-ISOLATED ZONING DISTRICT UNRELATED TO ADJACENT AND SURROUNDING ZONING DISTRICTS.

The amendment will create an R-6 zoning district and single family residential use along Bennett Street (Lot 2), both consistent with other properties along the street. The OD zoning district for the Beattie House property (Lot 1) will allow a transition from C-2 commercial (east) along Church Street and office uses (south) to the adjacent single family residential properties abutting the property.

8. DESCRIBE THE WAYS IN WHICH THE PROPOSED AMENDMENT WILL NOT RESULT IN SIGNIFICANT ADVERSE IMPACTS ON THE PROPERTY VALUES OF SURROUNDING LANDS.

The amendment will create an R-6 zoning district and single family residential use along Bennett Street (Lot 2), both consistent with other properties along the street. The OD zoning district for the Beattie House property (Lot 1) will allow a transition from C-2 commercial (east) along Church Street and office uses (south) to the adjacent single family residential properties abutting the property. Additionally, the current entrance to the property on Bennett Street may be closed should there be any non-single family residential use at the discretion of the City. This would divert all access to the Beattie House to Church Street, further preserving the residential character and property values of Bennett Street.

9. DESCRIBE THE WAYS IN WHICH THE PROPOSED AMENDMENT WILL NOT RESULT IN DETRIMENTAL IMPACTS ON THE NATURAL ENVIRONMENT AND ITS ECOLOGY, INCLUDING BUT NOT LIMITED TO: WATER; AIR; NOISE; STORMWATER MANAGEMENT; WILDLIFE; VEGETATION; AND, WETLANDS.

The proposed amendment will preserve the creek buffer as well as many trees on the property. This buffer will be maintained

10. DESCRIBE THE WAYS IN WHICH THE PROPOSED AMENDMENT WILL RESULT IN DEVELOPMENT THAT IS ADEQUATELY SERVED BY PUBLIC FACILITIES AND SERVICES (ROADS, POTABLE WATER, SEWERAGE, SCHOOLS, PARKS, POLICE, FIRE, AND EMERGENCY FACILITIES).

The property is already served by City of Greenville Sewer and Greenville Water. Any non-single family residential use of the Beattie House property (Lot 1) is expected to be serviced by existing infrastructure. The additional single family residence on the newly created Bennett Street parcel (Lot 2) would require new water tap and sewer lateral connection, both of which can be easily served to the property.

# 8 Bennett St - Aerial



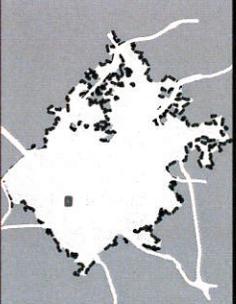
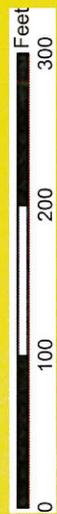
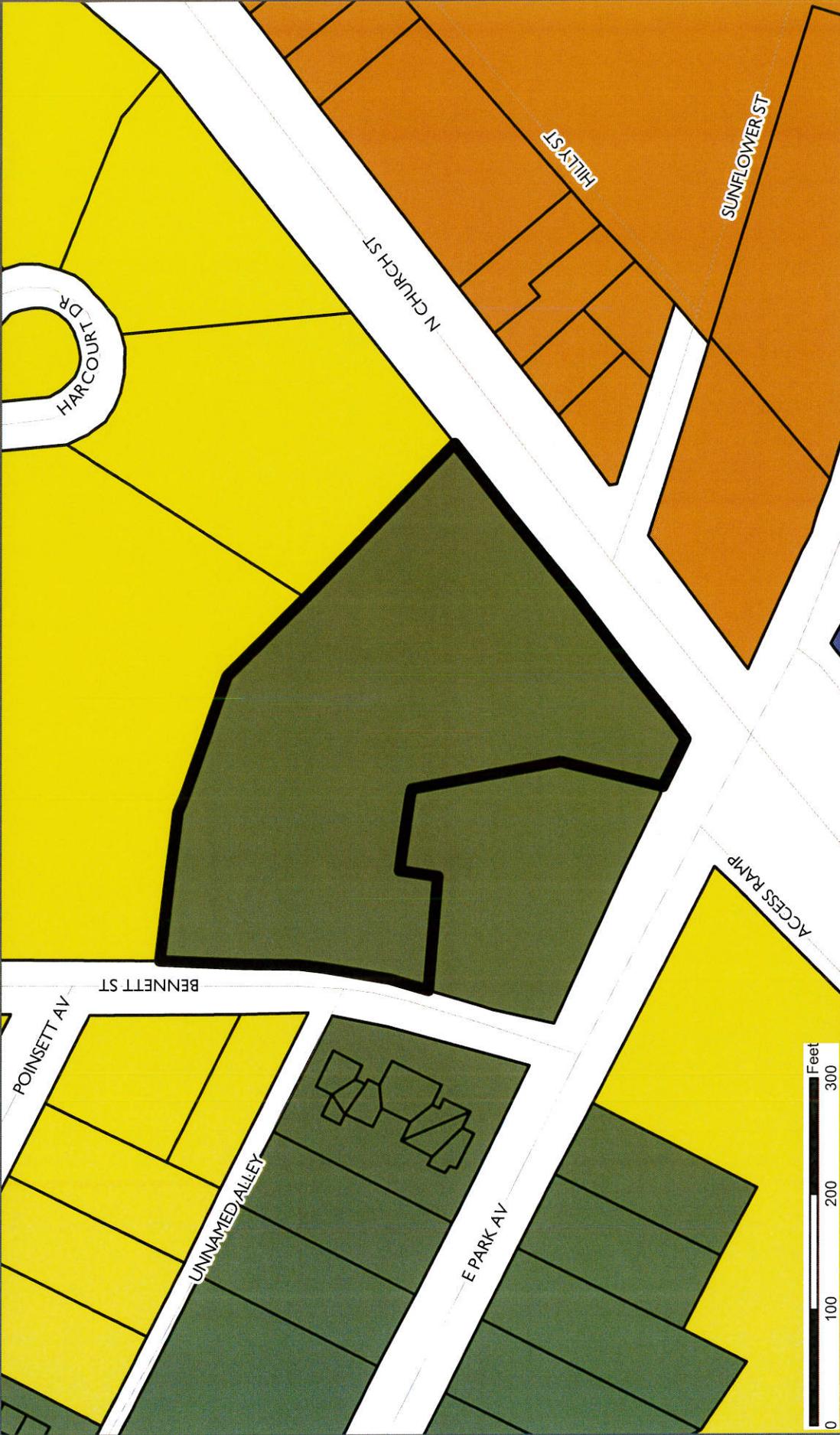
This map is a product of the City of Greenville, SC. Reasonable efforts have been made to ensure the accuracy of this map. The City of Greenville expressly disclaims any responsibility or liability with regard to the use of this map. Copyright: The City of Greenville, SC

City Limit Boundary

Parcels

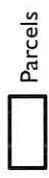


# 8 Bennett St - Existing Zoning



City Limit Boundary

Streets



Parcels

	C-1		C-IN		RM-3		I-1		POD
	C-2		RM-1		R-6		S-1		OS-C
	C-3		RM-1.5		R-7.5		OD		RDV
	C-4		RM-2		R-9		PD		



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# 8 Bennett St - Future Land Use



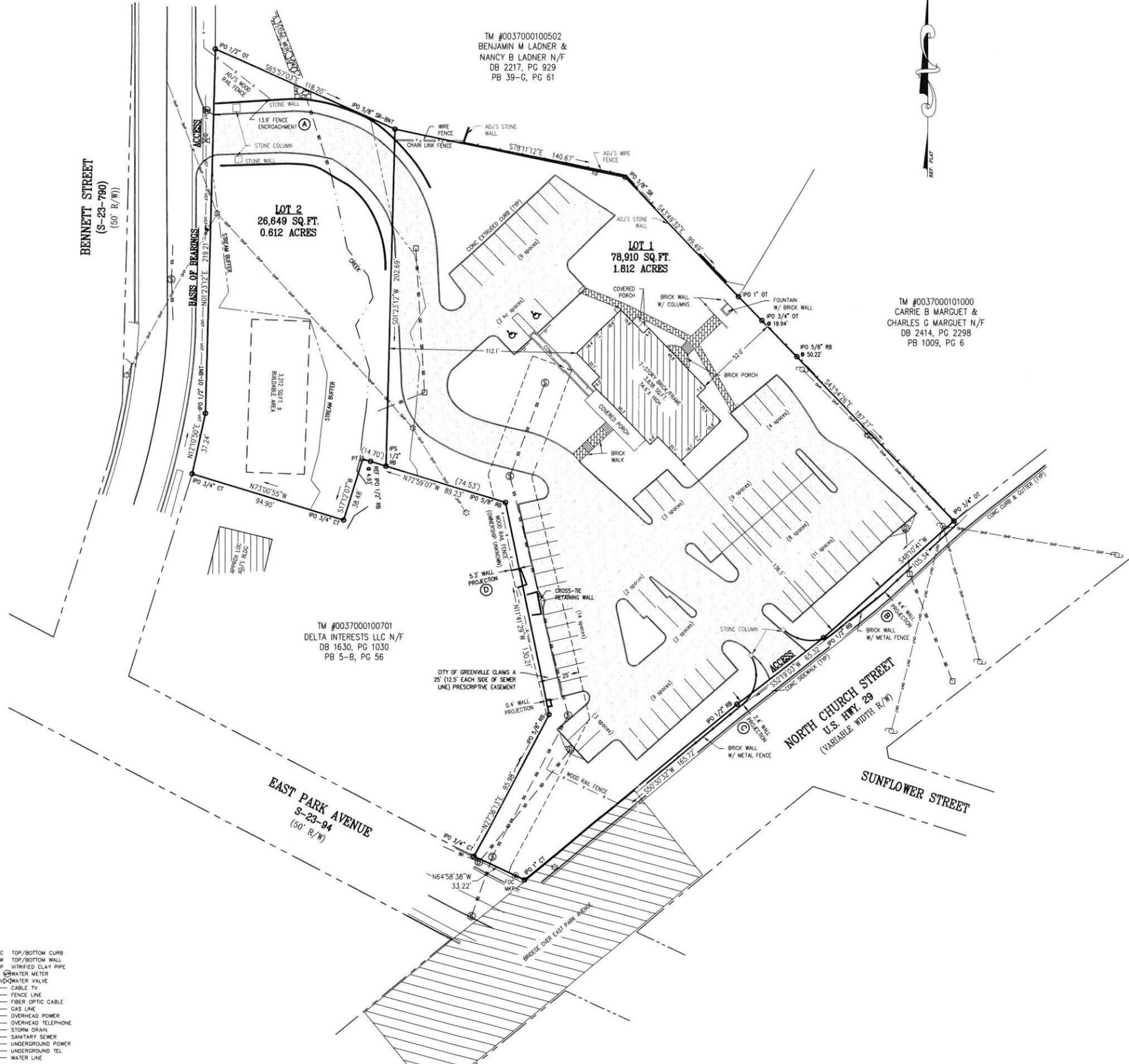
0 100 200 300 Feet

	City Limit Boundary		General Residential		Transit Oriented Development
	Streets		Urban Residential		Mixed Use City Center
	Parcels		Mixed Use Neighborhood		Parks, Open Space, and Schools
			Mixed Use Community		High Intensity Non-Residential
			Mixed Use Regional		

city of **greenville**  
*South Carolina*

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NOTE: EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAN, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: RIGHTS-OF-WAY, EASEMENTS, OTHER THAN POSSIBLE EASEMENTS THAT WERE VISIBLE AT THE TIME OF MAKING THIS SURVEY; BUILDING SETBACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND USE REGULATIONS AND ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE - ANY FLOOD PLAIN DATA SHOWN HEREON IS AN APPROXIMATE LOCATION GRAPHICALLY PLOTTED FROM THE REFERENCED FEMA MAP UNLESS OTHERWISE NOTED. - THIS SURVEY DOES NOT CONSTITUTE A TITLE RESEARCH, FLOOD STUDY, WETLAND DELINEATION OR ENVIRONMENTAL INSPECTION BY SURVEYOR.



TM #0037000100502  
BENJAMIN M LADNER &  
NANCY B LADNER N/F  
DB 2217, PG 929  
PB 39-G, PG 61

TM #0037000101000  
CARRIE B MARGUET &  
CHARLES G MARGUET N/F  
DB 2414, PG 2298  
PB 1009, PG 6

TM #0037000100701  
DELTA INTERESTS LLC N/F  
DB 1630, PG 1030  
PB 5-B, PG 56



LOCATION MAP NOT TO SCALE

**CERTIFICATE OF ACCURACY**

I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO KNOWN VISIBLE ENCROACHMENTS OR PROJECTIONS AFFECTING THE PROPERTY OTHER THAN THOSE SHOWN.

DATE \_\_\_\_\_ JUSTIN A. McDANIEL, P.L.S.  
28588  
S.C. REG. NO.

**CERTIFICATE OF OWNERSHIP AND DEDICATION**

"THE UNDERSIGNED HEREBY ACKNOWLEDGE THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT AND THAT I (WE) ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND HEREBY DEDICATE TO PUBLIC USE AS ROADS, STREETS, AND EASEMENTS, FOREVER ALL AREAS SO SHOWN OR INDICATED ON SAID PLAN"

DATE \_\_\_\_\_ SIGNED \_\_\_\_\_  
DATE \_\_\_\_\_ SIGNED \_\_\_\_\_  
DATE \_\_\_\_\_ SIGNED \_\_\_\_\_  
DATE \_\_\_\_\_ SIGNED \_\_\_\_\_

**CERTIFICATE OF APPROVAL FOR RECORDING**

"I HEREBY CERTIFY THAT THE SUBDIVISION PLAN SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS OF THE CITY OF GREENVILLE, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE CITY OF GREENVILLE PLANNING COMMISSION OF GREENVILLE COUNTY, SOUTH CAROLINA, AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE COUNTY R.O.D."

DATE \_\_\_\_\_ CITY ENGINEER - CITY OF GREENVILLE



**SUMMARY PLAT**

CITY OF GREENVILLE, GREENVILLE COUNTY, STATE OF SOUTH CAROLINA

**CITY OF GREENVILLE**

OWNER  
CITY OF GREENVILLE  
P.O. BOX 2207  
GREENVILLE, SOUTH CAROLINA

NO. OF ACRES: 2.424 MILES OF NEW ROAD: 0  
NO. OF LOTS: 2 DATE: 8/30/16  
ERROR OF CLOSURE: 1:10000  
CURRENT ZONING: R-M2

SCALE: 1" = 30'  
30 0 30 60



**SITE DESIGN, INC.**  
CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS

800 E WASHINGTON ST. STE. B GREENVILLE, SC 29601  
PH: (864)271-0496 FAX: (864)271-0402  
www.sitedesign-inc.com

**LEGEND**

- |                           |                        |                         |
|---------------------------|------------------------|-------------------------|
| BL BUILDING LINE          | TEL TELEPHONE PEDESTAL | TC/BC TOP/BOTTOM CURB   |
| CL CENTERLINE             | EM ELECTRIC METER      | TW/BW TOP/BOTTOM WALL   |
| OMP CORRUGATED METAL PIPE | CB CATCH BASIN         | VCP VITRIFIED CLAY PIPE |
| CT CRIMP TOP              | DI DROP INLET          | WM WATER METER          |
| DE DRAINAGE EASEMENT      | ET ELEC TRANS          | WV WATER VALVE          |
| EP EDGE OF PAVEMENT       | EL ELEVATION           |                         |
| IPO IRON PIN OLD          | FH FIRE HYDRANT        |                         |
| IPS IRON PIN SET          | GM GAS METER           |                         |
| NAC NAIL & CAP            | GV GAS VALVE           |                         |
| OT OPEN TOP               | LP LIGHT POLE          |                         |
| RB REBAR                  | PP POWER POLE          |                         |
| RCP REINFORCED CONC PIPE  | GP GUY ANCHOR          |                         |
| R/W RIGHT OF WAY          | SMH SO MANHOLE         |                         |
| SD STORM DRAIN            | SS SANITARY SEWER      |                         |
| SS SANITARY SEWER         | SSM SS MANHOLE         |                         |
| SSE SS EASEMENT           | TMH TELEPHONE MANHOLE  |                         |
|                           | CO CLEAN OUT           |                         |
|                           |                        | W WATER LINE            |



**Planning Staff Report to  
Greenville Planning Commission  
October 13, 2016**  
*for the October 20, 2016 Public Hearing*

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**Docket Number:** Z 21-2016

**Applicant:** The City of Greenville

**Proposal:** Text Amendment regarding 'Freestanding Communications Towers'

**Staff Recommendation:** Approval

**Staff Analysis:** The City had recently been working with a couple of personal wireless service providers that propose installing short communications towers in street rights-of-way. The density of personal wireless users in several areas of Greenville has grown and now requires smaller, more closely spaced options than the standard, tall communications towers. Downtown and Stone Avenue are two areas presently being discussed. These new 'towers' will essentially be replaced street light poles with an antennae extension on the top, and equipment either concealed inside or on the pole. The Design Review Board has reviewed some options and has approved a design that will be the least obtrusive along Main Street.

The proposed modifications include an update of the definition of 'Freestanding Communications Tower', change to allow flexibility in reviewing the appropriateness of tower design, and inclusion of a provision to allow towers in public rights-of-way through franchise agreements.

There are no comments from the other reviewing departments regarding this proposal.

**DAS DESIGN OPTION – MAIN STREET CORRIDOR POLES (CONCEALFAB PHOTO SIMULATIONS – 16” DIAMETER SMOOTH BASE POLE – UPWARD ANGLED COBRA HEAD POLE)**



**DAS DESIGN OPTION – MAIN STREET CORRIDOR POLES (CONCEALFAB PHOTO SIMULATIONS – 16” DIAMETER SMOOTH BASE POLE – CITY WI-FI / CAMERA POLE)**



# SMALL CELL DESIGN OPTION (FOR OLDER STYLE LIGHT POLES OUTSIDE OF THE MAIN STREET CORRIDOR)



**NODES: R, E, A, K, H, L, B, Q**

**Duke Standard Telecom Light Pole Solution (Valmont Pole)**

**Example Pole:  
Small Cell  
equipment in pole  
mount shroud.**



Application #	<u>221-2016</u>	Fees Paid	<u>N/A</u>
Date Received:	<u>9/19/16</u>	Accepted by	<u>SA</u>
Date deemed complete		App Deny	Conditions



**APPLICATION FOR ORDINANCE TEXT  
AMENDMENT  
CITY OF GREENVILLE, SOUTH CAROLINA**

APPLICANT INFORMATION

City of Greenville  
NAME  
206 S. Main Street  
ADDRESS  
Greenville, SC  
(864) 467-4476  
PHONE

(864) 467-4510  
FAX  
planning@greenvillesc.gov  
EMAIL  
[Signature]  
SIGNED  
9/19/16  
DATE

REQUEST

Sec. 19-4.3.2(G)(b), Freestanding communication towers  
PERTINENT CODE SECTION(S)  
Sec. 19-1.11, Definitions  
NARRATIVE DESCRIPTION/PROPOSED REVISION(S):

- Modify definitions of Communications Towers to include reference to 'personal wireless services';
- To provide flexibility in approval of tower design; and
- To provide for use of public rights-of-way for communications towers.

INSTRUCTIONS

1. THE APPLICATION AND FEE, **MADE PAYABLE TO THE CITY OF GREENVILLE**, MUST BE RECEIVED BY THE PLANNING AND DEVELOPMENT OFFICE NO LATER THAN 5:00 PM OF THE DATE REFLECTED ON THE ATTACHED SCHEDULE.
2. THE APPLICANT MUST RESPOND TO THE "STANDARDS" QUESTIONS ON PAGE 2 OF THIS APPLICATION (YOU MUST ANSWER "WHY" YOU BELIEVE THE APPLICATION MEETS THE TESTS FOR GRANTING A TEXT AMENDMENT). SEE ALSO **SECTION 19-2.3.2, AMENDMENTS TO TEXT AND ZONING DISTRICT MAP**, FOR ADDITIONAL INFORMATION. YOU MAY ATTACH A SEPARATE SHEET ADDRESSING THESE QUESTIONS.
3. YOU MUST ATTACH THE REQUIRED APPLICATION FEE: \$ 100.00.
4. THE ADMINISTRATOR WILL REVIEW THE APPLICATION FOR "SUFFICIENCY" PURSUANT TO **SECTION 19-2.2.6, DETERMINATION OF SUFFICIENCY**, PRIOR TO PLACING THE APPLICATION ON THE PLANNING COMMISSION AGENDA. IF THE APPLICATION IS DETERMINED TO BE "INSUFFICIENT", THE ADMINISTRATOR WILL CONTACT THE APPLICANT TO REQUEST THAT THE APPLICANT RESOLVE THE DEFICIENCIES. **YOU ARE ENCOURAGED TO SCHEDULE AN APPLICATION CONFERENCE WITH A PLANNER, WHO WILL REVIEW YOUR APPLICATION FOR "SUFFICIENCY" AT THE TIME IT IS SUBMITTED. CALL (864) 467-4476 TO SCHEDULE AN APPOINTMENT.**

Sec. 19-1.11. - Definitions.

*Communication tower, freestanding* means a structure erected on the ground and used primarily for the support of broadcast and/or receiving equipment and utilized by commercial, governmental, or other public or quasi-public users. A communication tower [includes structures supporting equipment used in the provision of personal wireless services, but](#) does not include private home use of satellite dishes and television antennas or amateur radio operators as licensed by the Federal Communications Commission. This use type is regulated under the "utilities" use category in article 19-4, use regulations.

*Communication tower, roof-mounted* means a structure placed on a building used primarily for the support of broadcast and/or receiving equipment and utilized by commercial, governmental, or other public or quasi-public users. A communication tower [includes structures supporting equipment used in the provision of personal wireless services, but](#) does not include private home use of satellite dishes and television antennas or amateur radio operators as licensed by the Federal Communications Commission. This use type is regulated under the "utilities" use category in article 19-4, use regulations.

\*\*\*\*\*

Sec. 19-4.3. - Use-specific standards.

19-4.3.2. *Public and institutional uses.*

(A) *General.*

- (1) Design standards. Except where specifically exempted by this chapter, nonresidential uses shall comply with the standards in subsection 19-6.5.
- (2) Public and institutional uses located within the OD, C-1, C-2, C-4, RDV, and PD districts open to the public between the hours of 12 midnight and 5:00 a.m. require a special exception permit, except when a conditional use permit is required, and, at a minimum, are subject to the following standards:
  - (a) The standards for granting a special exception permit.
  - (b) On-site traffic shall be directed away from abutting residential uses or residential districts between the hours of 12:00 midnight and 5:00 a.m.
  - (c) Delivery, waste collection, and similar commercial traffic is prohibited between the hours of 12:00 midnight and 5:00 a.m.
  - (d) Loitering, solicitation, and disorderly conduct is prohibited at all times; rules consistent with the provisions of the Greenville Code of Ordinances shall be posted in conspicuous locations and shall be enforced by the proprietors.
  - (e) Exterior sound amplification is prohibited except in areas specifically authorized on the approved site plan and/or floor plan; all amplified sound shall be directed inward toward the facility and away from any adjoining use or public property. No exterior amplified sound shall be permitted between the hours of 10:00 p.m. and 11:00 a.m. Interior sound amplification shall be located only as reflected on an approved floor plan and shall be directed away from the principal entrance or directed toward the interior of the building.
  - (f) Drive-through facilities shall be closed between the hours of 12:00 midnight and 5:00 a.m.
  - (g) Exterior doors shall remain closed except to provide ingress and egress between the hours of 10:00 p.m. and 5:00 a.m.
  - (h) The required permit, either special exception permit or conditional use permit, shall be limited to the applicant and shall not be transferrable. A copy of the special exception permit or the conditional use permit shall be maintained on the premises with other related inspection, licensing, and occupancy information.

- (B) In addition to applicable use-specific standards that follow, the administrator may impose conditions on a conditional use permit intended to mitigate any negative impacts of the use relating to:
- (1) The volume and type of sales, retail, wholesale; size and type of items sold and nature of inventory on the premises;
  - (2) Any processing done on the premises, including assembly, manufacturing, warehousing, shipping, distribution;
  - (3) The nature and location of storage and outdoor display of merchandise; enclosed, open, inside or outside the principal building; and predominant types of items stored (such as business vehicles, work-in-process, inventory, and merchandise, construction materials, scrap and junk, and raw materials including liquids and powders);
  - (4) The type, size and nature of buildings and structures;
  - (5) The number and density of employees and customers per unit area of site in relation to business hours and employment shifts;
  - (6) Transportation requirements, including the modal split for people and freight, by volume type and characteristic of traffic generation to and from the site, trip purposes and whether trip purposes can be shared by other uses on the site;
  - (7) Parking requirements, turnover and generation, ratio of the number of spaces required per unit area or activity, and the potential for shared parking with other uses;
  - (8) The amount and nature of any nuisances generated on the premises, including but not limited to noise, smoke, odor, glare, vibration, radiation and fumes;
  - (9) Any special public utility requirements for serving the proposed use, including but not limited to water supply, waste water output, pre-treatment of wastes and emissions required or recommended, and any significant power structures and communications towers or facilities; and
  - (10) The impact on adjacent properties created by the proposed use will not be greater than that of other uses permitted in the district.
- (C) *Day care.* All day care facilities are permitted subject to the following standards:
- (1) Day care facilities shall comply with all applicable state regulations.
  - (2) Day care homes (six or fewer people) are considered home occupations and shall comply with the requirements of subsection 19-4.4.3(C) and (F).
  - (3) A day care facility operated by, and located on the site of, a religious institution may be allowed as an accessory use only if found to be compatible with adjacent areas in terms of hours of operation, noise, lighting, parking, and similar considerations, and if it does not cause significant traffic impacts.
  - (4) In the C-1 district, day care facilities shall not exceed a gross floor area of 1,000 square feet.
- (D) *Educational facilities.*
- (1) *Business school.* In the C-1 district, business schools shall comply with the following standards:
    - (a) Hours of operation shall be limited to between the hours of 7:00 a.m. and 9:00 p.m.
    - (b) The gross floor area shall not exceed 1,000 square feet.
  - (2) *School, public or private.* In the residential districts, schools may be approved as a special exception. Any redevelopment or addition to a school or its accessory facilities, or modification of parking or vehicular circulation patterns, shall also be reviewed as a special exception.

- (3) *Trade school.* Such use shall not involve activities that would otherwise not be permitted in the zoning district.
- (E) *Medical facility, other than hospital.* In the C-1 district, a medical facility, other than a hospital, shall comply with the following standards:
- (1) The use shall not exceed a gross floor area of 2,000 square feet.
  - (2) Hours of operation shall be limited to the hours between 7:00 a.m. and 9:00 p.m.
- (F) *Religious institution.* Religious institutions may be approved as a special exception in selected districts. Any new building or addition to a religious institution shall also be reviewed as a special exception.
- (G) *Communication tower, freestanding or roof-mounted.*
- (1) *General requirements.* All towers shall comply with the following general requirements:
    - (a) *Removal of abandoned facilities.* A tower that has not been operated for a continuous period of one year shall be considered abandoned. The city may require an abandoned tower to be removed. The owner of such tower shall remove the tower within 30 days of receipt of written notice from the city. If the tower is not removed within 30 days, the city may remove it at the owner's expense and any permit for the tower shall be deemed to have expired.
    - (b) *Freestanding communication towers.*
      1. *Design.* Any freestanding communication tower and associated facilities shall be subject to terms and conditions that minimize the impact upon private and public property (including, where applicable, the public right-of-way), ensure consistency with the surrounding area and employ concealment elements appropriate to the location being proposed. All freestanding towers shall utilize stealth technology intended to obscure, blend, or hide the tower and shall be designed as an object appropriate for the site and district in which it is to be located.
      2. *Setbacks.* All freestanding towers shall be located at least 30 feet from a residential zoning district or the property line of a lot containing a residential use.
      3. *Co-location.* All freestanding towers shall be designed and constructed to permit the facility to accommodate the attachment of at least two additional providers on the same facility. No telecommunication operator shall exclude a competitor from using the same facility or location. A special exception shall not be required for co-location on existing towers which were originally approved as a special exception or on other structures, and which do not increase the height of the existing tower or structure.
      4. *Public Right-of-Way.* No freestanding communication tower or any associated facilities shall be erected within the public right-of-way unless permitted by site license pursuant to a franchise or other written consent issued by the city authorizing the occupancy of the public right-of-way to install and operate wireless facilities. In no event shall a freestanding communications tower in excess of the average height of existing utility distribution structures on the public right-of-way in the immediate area be permitted within the public right-of-way unless a showing can be made that this provision would prohibit or have the effect of prohibiting the provision of personal wireless services within the meaning of 47 U.S.C. § 332(c)(7), as interpreted by binding precedent of the United States Court of Appeals for the Fourth Circuit.
      54. *Availability of other suitable locations.* In addition to the previous subsection pertaining to the public right-of-way, Nnew towers shall not be permitted unless the applicant demonstrates that no existing freestanding communication tower or other structure can accommodate the applicant's needs. Evidence submitted to

demonstrate that no existing tower or structure can accommodate the applicant's needs shall be signed by a registered engineer and shall demonstrate at least one of the following:

- a. No existing communication towers or structures at a suitable height are located within the geographic area required to meet the applicant's engineering requirements;
- b. Existing freestanding communication towers or structures do not have sufficient structural strength to support the applicant's proposed antenna and related equipment;
- c. The applicant's proposed antenna would cause electromagnetic interference with the antennae on the existing towers or structures, or the antennae on the existing towers or structures would cause interference with the applicant's proposed antenna; or
- d. The applicant demonstrates that there are other limiting factors that render existing towers and structures unusable.

(c) *Roof-mounted communication towers.*

1. *Location.* A proposed roof-mounted communication tower may be permitted as an accessory or secondary use in any district. In the C-4 district, towers may be permitted only on buildings at least 50 feet in height.
2. *Height.* A roof-mounted tower shall not exceed 20 feet in height if mounted on buildings less than 50 feet in height. A roof-mounted tower shall not exceed 40 feet in height if mounted on buildings 50 feet in height or greater.



**Planning Staff Report to  
Greenville Planning Commission  
October 13, 2016**  
*for the October 20, 2016 Public Hearing*

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**Docket Number:** SNC 16-680  
**Applicant:** City of Greenville SC  
**Proposal:** Assign an unnamed street with the name Echo Park Court  
**Location:** Duvall Drive adjacent to TM# 0272000101401  
**Staff Recommendation:** Approve

**Staff Analysis:**

The existing unnamed street is a spur off of Duvall Drive (S-1119), and is labeled as SF 23-1119 on the SC Department of Transportation Street Finder website.

There is an adjacent property in the City that uses the street for a second access point, and it is currently being redeveloped into a used car dealership called EchoPark.

The SCDOT requested that the City name the street. The Planning Commission is given the power and duty of naming all streets within the City by Sections 19-2.1.2 and 19-2.3.13(C) of the Land Management Ordinance.

The County E-911 office has given approval of the name 'Echo Park Court.'

Application # <u>SNC 16-1680</u>	Fees Paid <u>_____</u>
Date Received: <u>9/26/16</u>	Accepted by <u>[Signature]</u>
Date deemed complete <u>_____</u>	App Deny Conditions <u>_____</u>

10/20 PC



## APPLICATION FOR A STREET NAME CHANGE CITY OF GREENVILLE, SOUTH CAROLINA

### APPLICANT INFORMATION

City of Greenville, SC  
APPLICANT NAME

864.467.4476  
PHONE

206 S. Main St  
ADDRESS

\_\_\_\_\_  
FAX

Greenville, SC 29601

planning@greenvillesc.gov  
EMAIL

### STREET NAME INFORMATION

CURRENT NAME: SF-23-1119 (SCDOT)

MAP BOOK: \_\_\_\_\_ PAGE: \_\_\_\_\_

PROPOSED NAME: Echo Park Court

### INSTRUCTIONS

1. THE APPLICATION AND FEE, **MADE PAYABLE TO THE CITY OF GREENVILLE**, MUST BE RECEIVED BY THE PLANNING AND DEVELOPMENT OFFICE NO LATER THAN 5:00 PM OF THE DATE REFLECTED ON THE ATTACHED SCHEDULE.
2. YOU MUST ATTACH THE REQUIRED APPLICATION FEE: \$550.00.
3. THE APPLICANT MUST RESPOND TO THE "STANDARDS" QUESTIONS ON PAGE 2 OF THIS APPLICATION (YOU MUST VERIFY THAT THE PROPOSED STREET NAME COMPLIES WITH THE REQUIREMENTS FOR STREET NAMES). SEE ALSO **SECTION 19-2.3.13, STREET NAMING OR NAME CHANGE**, AND THE **DESIGN AND SPECIFICATIONS MANUAL** FOR ADDITIONAL INFORMATION. YOU MAY ATTACH A SEPARATE SHEET ADDRESSING THESE QUESTIONS.
4. THE ADMINISTRATOR WILL REVIEW THE APPLICATION FOR "SUFFICIENCY" PURSUANT TO **SECTION 19-2.2.6, DETERMINATION OF SUFFICIENCY**, PRIOR TO PLACING THE APPLICATION ON THE PLANNING COMMISSION AGENDA. IF THE APPLICATION IS DETERMINED TO BE "INSUFFICIENT", THE ADMINISTRATOR WILL CONTACT THE APPLICANT TO REQUEST THAT THE APPLICANT RESOLVE THE DEFICIENCIES. **YOU ARE ENCOURAGED TO SCHEDULE AN APPLICATION CONFERENCE WITH A PLANNER, WHO WILL REVIEW YOUR APPLICATION FOR "SUFFICIENCY" AT THE TIME IT IS SUBMITTED. CALL (864) 467-4476 TO SCHEDULE AN APPOINTMENT.**
5. YOU MUST POST THE SUBJECT PROPERTY AT LEAST 15 DAYS (BUT NOT MORE THAN 18 DAYS) PRIOR TO THE SCHEDULED HEARING DATE.

1 SIGNS ARE ACKNOWLEDGED AS RECEIVED BY THE APPLICANT

[Signature]

6. THE APPLICANT AND PROPERTY OWNER AFFIRM THAT ALL INFORMATION SUBMITTED WITH THIS APPLICATION; INCLUDING ANY/ALL SUPPLEMENTAL INFORMATION IS TRUE AND CORRECT TO THE BEST OF THEIR KNOWLEDGE AND THEY HAVE PROVIDED FULL DISCLOSURE OF THE RELEVANT FACTS.

IN ADDITION, THE APPLICANT AND PROPERTY OWNER AFFIRM THAT THE TRACT OR PARCEL OF LAND SUBJECT OF THIS APPLICATION IS, OR IS NOT, RESTRICTED BY ANY RECORDED COVENANT THAT IS CONTRARY TO, CONFLICTS WITH, OR PROHIBITS, THE REQUESTED ACTIVITY.

IF THE PLANNING OFFICE HAS ACTUAL NOTICE\* THAT A RESTRICTIVE COVENANT\* IS CONTRARY TO, CONFLICTS WITH, OR PROHIBITS THE REQUESTED ACTIVITY, THE OFFICE MUST NOT ISSUE THE PERMIT UNLESS THE OFFICE RECEIVES CONFIRMATION FROM THE APPLICANT THAT THE RESTRICTIVE COVENANT HAS BEEN RELEASED BY ACTION OF THE APPROPRIATE AUTHORITY, PROPERTY HOLDERS, OR BY COURT ORDER.

TO THAT END, THE APPLICANT HEREBY AFFIRMS THAT THE TRACT OR PARCEL OF LAND SUBJECT OF THE ATTACHED APPLICATION IS \_\_\_\_\_ OR IS NOT  RESTRICTED BY ANY RECORDED COVENANT THAT IS CONTRARY TO, CONFLICTS WITH, OR PROHIBITS THE REQUESTED ACTIVITY.

\_\_\_\_\_  
*Hatelia Schmidt, Development Planner* APPLICANT  
\_\_\_\_\_  
*for* DATE  
\_\_\_\_\_  
*City of Greenville* PROPERTY OWNER  
\_\_\_\_\_  
*9/26/16* DATE

**APPLICANT RESPONSE TO**  
**SECTION 19-2.3.13, STREET NAMING OR NAME CHANGE**

(YOU MAY ATTACH A SEPARATE SHEET)

THE APPLICANT MUST VERIFY THAT THE PROPOSED STREET NAME COMPLIES WITH THE FOLLOWING REQUIREMENTS AS ENUMERATED IN THE **DESIGN AND SPECIFICATIONS MANUAL**:

\_\_\_ THE PROPOSED STREET NAME DOES NOT DUPLICATE ANOTHER STREET NAME WITHIN THE CITY.

\_\_\_ THE PROPOSED STREET NAME IS NOT PHONETICALLY SIMILAR TO ANOTHER STREET NAME WITHIN THE CITY (E.G., GAYLE VS GAIL VS GALE).

\_\_\_ THE PROPOSED STREET NAME DOES NOT INCLUDE PREFIXES SUCH AS: NORTH, SOUTH, EAST, WEST, NEW, OLD, ETC.

\_\_\_ THE PROPOSED STREET NAME DOES NOT SIMPLY ALTER A CURRENT STREET NAME SUFFIX (ROAD, STREET, LANE, COURT, CIRCLE, ETC.).

\_\_\_ THE PROPOSED STREET NAME DOES NOT COMBINE OR SEPARATE TWO OR MORE WORDS OF A CURRENT STREET NAME (E.G., OAKLAND AVE. VS OAK LAND AVE., PINECREST AVE. VS PINE CREST AVE, ETC.).

\_\_\_ THE PROPOSED STREET NAME DOES NOT "SPELL-OUT" A CURRENT NUMBERED STREET NAME (E.G., FIRST VS 1<sup>ST</sup>, ETC.). IF THE PROPOSED STREET NAME CONTAINS A NUMBER, IT MUST BE "SPELLED-OUT".

\_\_\_ THE PROPOSED STREET NAME DOES NOT EXCEED FIFTEEN (15) CHARACTERS.

THE PLANNING COMMISSION WILL ASSIGN THE APPROPRIATE SUFFIX PURSUANT TO THE STANDARDS ENUMERATED IN THE **DESIGN AND SPECIFICATIONS MANUAL**.

# Unnamed Street off Duvall Dr - Aerial



City Limit Boundary

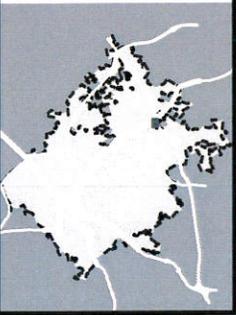


Parcels



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# Unnamed Street off Duvall Dr - Existing Zoning



**City Limit Boundary**

**Streets**

**Parcels**

	C-1		C-IN		RM-3		I-1		POD
	C-2		RM-1		R-6		S-1		OS-C
	C-3		RM-1.5		R-7.5		OD		RDV
	C-4		RM-2		R-9		PD		

city of  
**greenville**  
*South Carolina*

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County:  Municipality:  Street Name:   
**SCDOT Street Finder** Search  Display push pin with GPS coordinates

